



# Design Review Board Agenda

15728 Main Street, Mill Creek, Washington 98012

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**April 19, 2018**

**5:15 p.m.**

***COUNCIL CHAMBERS***

- I. CALL TO ORDER: 5:15 p.m.**
- II. ROLL CALL: 5:15 p.m.**
- III. APPROVAL OF MINUTES: 5:16 p.m.**
- A. Approval of March 15, 2018 Meeting Minutes <sup>(1)</sup>
- IV. NEW BUSINESS: 5:17 p.m.**
- A. The Learning Experience – Building Elevations, Landscaping, Monument Sign <sup>(2)</sup>
- B. Canyon Creek Church – Informal Review of Elevations and Landscaping <sup>(3)</sup>
- V. ADJOURNMENT: 6:00 p.m.**

**ATTACHMENTS:**

1. April 19, 2018 Meeting Minutes
2. Staff Report with Attached Plans
3. Proposed Plans

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**CITY OF MILL CREEK  
DESIGN REVIEW BOARD MEETING MINUTES  
March 15, 2018**

Draft

**DRB Members:**

Dave Gunter, Chair  
David Hambelton, Vice Chair (absent)  
Tina Hastings  
Diane Symms (absent)  
Beverly Tiedje

Community Development Staff:  
Sherrie Ringstad, Associate Planner

**I. CALL TO ORDER:**

Chair Gunter called the meeting to order at 5:30 p.m.

**II. ROLL CALL:**

All members were present except as noted above. Vice Chair Hambelton and Member Symms had previously notified staff of a work conflict; thus, their absence is considered excused.

**III. MINUTES:**

A. Minutes of January 18, 2018

**MOTION: Member Tiedje moved, seconded by Member Hastings, to approve the January 18, 2018 minutes as presented. The motion was approved unanimously.**

**IV. NEW BUSINESS:**

The Estates at Thomas Lake – Monument Sign

Associate Planner Sherrie Ringstad noted that the project before the Board was a freestanding neighborhood identification sign for the Estates at Thomas Lake subdivision. She gave the staff presentation, which included a vicinity map, a mock-up of the proposed sign, and a discussion of the dimensional requirements and consistency with the Code.

Chair Gunter opened the floor for Board questions and discussion.

Greg Buzzell, the Homeowners Association President, confirmed for the Board that the area where the sign is proposed to be located is irrigated and the HOA plans to plant seasonal annuals around the trellis.

The Board discussed the painted metal backing the sign, which is intended to make the cutouts visible, and is currently proposed to be black. Two of the members felt a darker brown color rather than the black would complement the fence color. The Board also discussed the recommended condition suggesting the applicant consider landscaping and agreed that some landscaping was essential and the recommendation should be changed to a firmer requirement.

**MOTION: Member Tiedje moved, seconded by Member Hastings, to approve the monument sign for the Estates at Thomas Lake subdivision as proposed and as conditioned in the staff report, with the following additional conditions:**

- **The sign backing shall be painted a darker brown color to complement the fence color.**
- **Landscaping, consisting of seasonal annuals, shall be installed at the base of the sign.**

**The motion was approved unanimously.**

**V. ADJOURNMENT:**

**Chair Gunter adjourned the meeting with the consensus of the Board at 5:50 p.m.**

Submitted by:

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Sherrie Ringstad, Associate Planner

**CITY OF MILL CREEK  
DESIGN REVIEW BOARD  
APPLICATION PL2018-0003**

**PART I - SUMMARY INFORMATION**

**NAME OF PROJECT:** The Learning Experience (TLE) – Commercial Childcare Center

**APPLICANT:** Bill Crowley  
970 Elevation Development LLC  
201 14<sup>th</sup> Avenue, Suite 200G  
Glenwood Springs, Colorado 81601

**LOCATION:** The project is located at 17512 Bothell-Everett Highway, Mill Creek, Washington.

**PROPOSAL:** Review of building elevations, landscaping and monument sign

**ZONING:** Business and Industrial Park - BP

**PART II – DESIGN REVIEW BOARD AUTHORITY**

Building Elevations, Materials, and Colors:

In accordance with Mill Creek Municipal Code (MCMC) Section 17.34.020, the Design Review Board (DRB) shall review building elevations, landscape plans and monument signs for commercial developments. Design guidelines are set forth in MCMC Section 17.34.040.B. Commercial and Business Park/Industrial Building Design, MCMC Section 17.34.040.G. Freestanding Sign Design, and MCMC Section 17.34.040.H. Landscaping Design.

**PART III – BACKGROUND AND PROJECT DESCRIPTION**

The existing site is zoned Business and Industrial Park - BP, and a commercial daycare center is a permitted use in the BP zone district. The site is approximately five acres in size and is located on the west side of Bothell-Everett Highway along the southern city limits. Site access will be from the Bothell-Everett Highway. The site is surrounded by wetlands to the west and south and Li'l Sprout Nursery & Garden Center to the north.

The proposed development includes a new 10,000 square foot, single story building located on the northeastern portion of the site with the main entrance facing to the east. A 5,040 square foot playground area to the west of the building will be enclosed with a six-foot high fence. Thirty-nine onsite parking spaces are proposed.

The proposed commercial daycare center will accommodate up to 162 children ranging in ages from 6-months to 6-years old with approximately 22 employees. The facility will operate between the hours of 6:30 a.m. to 6:30 p.m., Monday through Friday. The traffic impact will be minimal to the local streets, with peak hours early in the morning and after work. The facility is designed to provide a security check-in system, so no drop off area is required as parents must park and log in their children each morning.

A Binding Site Plan for the development was reviewed by the Hearing Examiner at a public hearing on March 22, 2018, and the Binding Site Plan was approved.

See **Attachment 1- Site Plan** and **Attachment 2 – Color Elevations** to see the site layout and building exteriors.

Please note that the wall signage shown in the attachments is conceptual in nature and will be reviewed by staff at a future date. As shown the wall sign exceeds the amount allowed by Code and it will have to be reduced in size to a maximum of 50 square feet before it is submitted for administrative approval.

#### **PART IV – PROJECT ANALYSIS**

Below is an analysis and summary of the consistency of the proposal with the City’s Design Guidelines:

##### **Building Elevation Criteria**

The Code requires that buildings incorporate modulation to reduce the overall bulk and mass of buildings and to avoid blank walls. In addition, building design shall incorporate traditional building materials such as masonry, stone, stucco, heavy timbers, brick, and other natural appearing materials. Building colors should accent, blend with, or complement surroundings. Bright or brilliant colors should be reserved for trim and accents. The City’s building design objectives call for a consistent visual identity to be applied to all sides of buildings visible to the general public and for all building sides to have an equivalent level of quality of materials, detailing, and window placement.

In addition, the Code requires outdoor mechanical equipment to be screened from view, including ground level and rooftop mechanical and communication equipment. The method of screening shall be architecturally integrated with the building with respect to materials, color, shape, and size.

##### **Proposal – Building Elevations, Materials and Colors**

The proposed building exterior materials and colors include a ground-face CMU base in Fuego Red and metal panels in a variety of textures including smooth, corrugated and vertical ribbed, in a variety of colors including Surrey Beige, Sandstone, Warm White and Imperial White. The metal roof and entry tower, coping, fascia, and accent banding are in Weathered Copper. For safety reasons, a PVC fence in a dark wood grain color is proposed around the playground area. The main entry is accented with the entry tower supported by two columns decorated with two-foot stacked alphabet and number blocks in Watermelon Red, Yellow Rain, Twilight Blue and Prairie Green. The Column enclosure is painted White Dove.

Changes recommended by the Design Review Board (DRB) during the informal review include:

- Changing the color on the top half of the building to Sandstone Beige
- Using either Trex or a high-quality, wood look vinyl for the fence
- Using a metal awning rather than vinyl for maintenance reasons.

All of these suggestions have been implemented.

The entry artwork proposed is considered a decorative element and would not be considered signage. As defined in the Code, signs do not include sculptures, wall paintings, murals, collages, and other design features determined to be public art by the City. In addition, the Design Guidelines require building entrances to be clearly identifiable and visible from the street and nearby pedestrian routes and feature a variety of architectural elements, which can include artwork. The intent of the blocks on the front entrance columns is not for advertising purposes, but to provide a clearly identified main entrance that is interesting to their clients, young children. The blocks on the columns, given their distance from the road and the presence of the roadway buffer, will not by themselves, attract attention from the highway.

The trash enclosure is proposed to be constructed of CMU in Fuego Rd and the heavy metal gate will be painted Surrey Beige to coordinate with the building. The roof top mechanical equipment will be screened from view from the public right-of-way by the building parapet.

As proposed, staff believes that the building elevations are in compliance with the design guidelines contained in the Code and is recommending approval.

### **Freestanding Sign Criteria**

In accordance with MCMC Section 17.26.020.E, a business in an industrial park may have one freestanding sign not exceeding 34 square feet in area and having a maximum height of 42 inches. MCMC Section 17.34.040.G requires that freestanding monument signs be designed to be complementary to, and coordinated with, building colors and be in scale and proportion with building design, and further states that the sign should provide only the name and address of the building, building complex and/or building tenants.

### **Proposal – Monument Sign**

The supporting structure of the monument sign will be constructed with CMU in Fuego Red to coordinate with the building. The proposed sign itself is 13.33 square feet and the sign including the supporting structure is 32.66 square feet with a height of 42 inches, which meets the dimensional requirements contained in the Code. The sign itself will be the business name and logo in acrylic letters pin mounted on a stucco background. The lettering and logo are in bright colors. In addition, the sign meets the minimum 5-foot setback requirement contained in the Code. It will be up-lit with ground mounted spot lights on each side. The design of the freestanding sign was reviewed by the DRB in the informal review and found to be acceptable if it was reduced in size to meet the dimensional requirements contained in the Code, which has been done.

As proposed, staff believes that the proposed freestanding sign is in compliance with the design guidelines contained in the Code and is recommending approval.

## Landscaping Criteria

City code requires that project landscaping provide unity of design through repetition of plants and coordination with adjacent developments. The Code requires landscape materials to be a hardy species adaptable to local conditions, easily maintained, and drought tolerant. Use of native plants and the retention of existing vegetation are strongly encouraged. In addition, required landscape areas shall be densely landscaped with a combination of trees, shrubs, and groundcover to provide 90 percent coverage within three years of planting.

### Proposal - Landscaping

The roadway buffer is proposed to be planted with lawn, Parkway Maple, and two sections of low native shrub mix consisting of Creeping Snowberry, Kelsey Dogwood and Salal. A new sidewalk will meander through the roadway buffer as required by the Code.

The landscape beds surrounding the parking lot are planted with:

- Trees: Golden Chain Tree, Weeping Alaska Cedar, Satomi Dogwood, and Vine Maple
- Shrubs: Crimson Pygmy Barberry, Isanti Dogwood, Oregon Grape, Gulf Stream Nandina, Seward Ninebark, Low Fragrant Sumac, Lemon Princess Spirea, and David's Viburnum
- Groundcover: Purple-leaf Winter Creeper, and Kinnikinnick

As suggested by the Design Review Board during the informal review, foundation plantings have been added around the base of the building to further enhance the front elevation. See **Attachment 3 – Landscape Plan**.

Staff is recommending three changes as follows:

- The Parkway Maple is known to have an issue with surface roots that compete with lawn and cause infrastructure damage; therefore, staff is recommending that the applicant select another species of street tree.
- Currently, David's Viburnum and Lemon Princess Spirea are proposed around the monument sign, which even when well maintained can have a height of 2 to 3 feet. Staff is recommending that the applicant select another shrub or groundcover that has a mature height of 1 foot or less so the landscaping does not obscure the monument sign.
- Currently the spacing on the groundcover (Winter Creeper and Kinnikinnick) is called out as 2 ½ feet on center. To achieve the coverage required by the Code, this should be 18 inches on center and the spacing on the low native shrub mix is called out as 3 feet on center and it should be 2 feet on center.

As conditioned, staff believes that the proposed landscaping is in compliance with the design guidelines contained in the Code and is recommending approval.

## **PART V - FINDINGS, CONCLUSIONS, AND RECOMMENDATION**

Having viewed the property and reviewed the application, City staff finds that the proposed building elevations, landscaping and freestanding sign will be consistent with the design guidelines set forth in MCMC Section 17.34.040 and is recommending approval subject to the following conditions.

1. The building elevations, materials, colors, and design shall be as portrayed in the application.
2. Amend the landscape plan as follows:
  - Select another species of street tree, either from the Approved Street Tree list or a species that is approved by staff.
  - Select alternate plantings around the monument sign with a lower mature height.
  - Show the spacing on the groundcover as 18-inches on center and the spacing on the low native shrub mix as two feet on center.
3. A landscape performance bond in the amount of 125% of the proposed cost of materials and installation shall be provided to the City prior to beginning construction of the binding site plan, pursuant to MCMC Section 16.16.040.
4. Irrigation shall be provided for the landscaping, per MCMC Section 17.34.040.H.1.d. The irrigation system will require a building permit. The permit is an over-the-counter plumbing permit, no plans required, with an inspection of the system's backflow prevention.

### **ATTACHMENTS:**

**Attachment 1- Site Plan**

**Attachment 2 – Color Elevations**

**Attachment 3 – Landscape Plan**

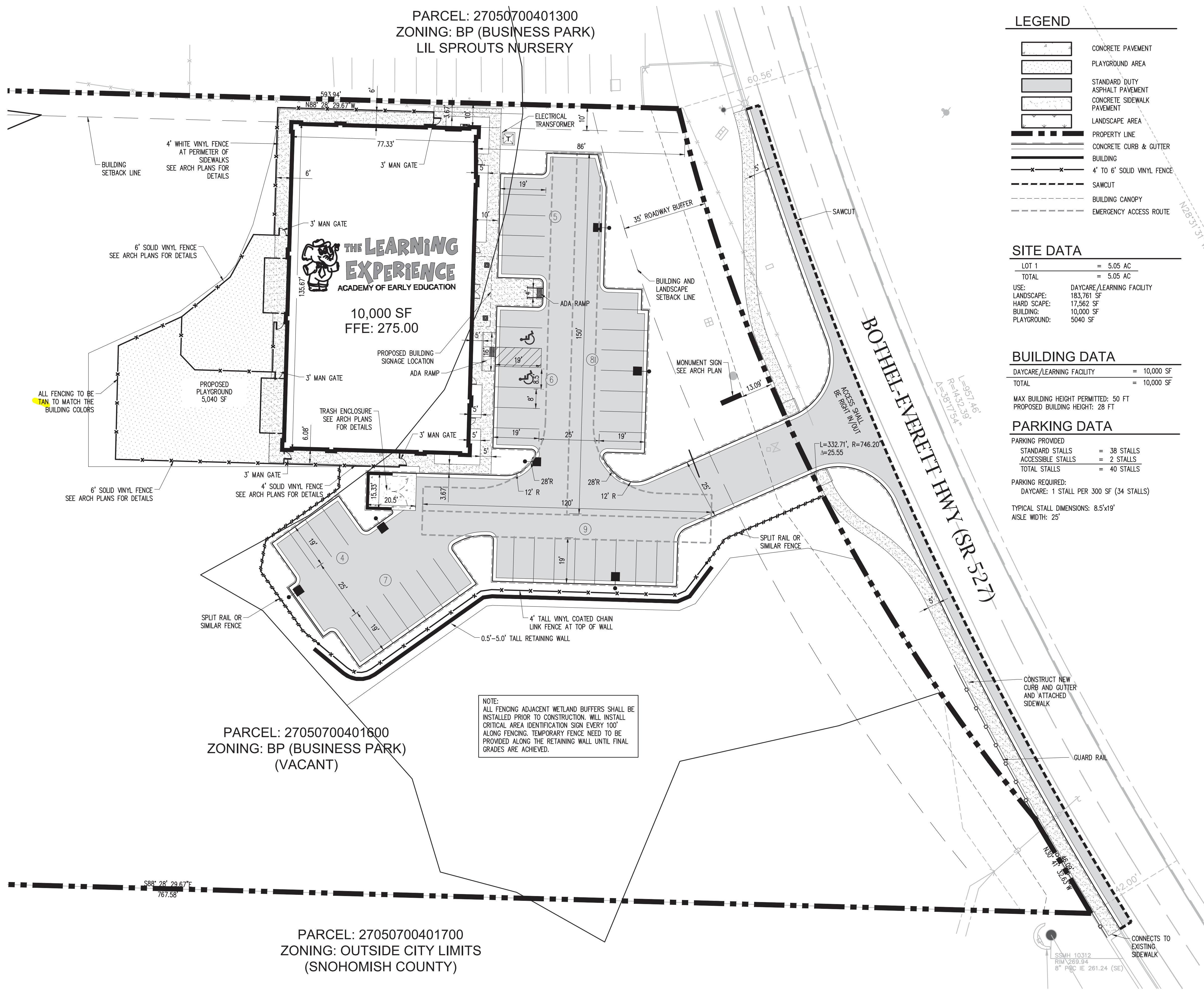
**Attachment 4 – Email from Tom Rogers, Manager of Development Services**



PARCEL: 27050700401300  
 ZONING: BP (BUSINESS PARK)  
 LIL SPROUTS NURSERY

PARCEL: 27050700401600  
 ZONING: BP (BUSINESS PARK)  
 (VACANT)

PARCEL: 27050700401700  
 ZONING: OUTSIDE CITY LIMITS  
 (SNOHOMISH COUNTY)



**LEGEND**

- CONCRETE PAVEMENT
- PLAYGROUND AREA
- STANDARD DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK PAVEMENT
- LANDSCAPE AREA
- PROPERTY LINE
- CONCRETE CURB & GUTTER
- BUILDING
- 4' TO 6' SOLID VINYL FENCE
- SAWCUT
- BUILDING CANOPY
- EMERGENCY ACCESS ROUTE

**SITE DATA**

LOT 1	= 5.05 AC
TOTAL	= 5.05 AC
USE:	DAYCARE/LEARNING FACILITY
LANDSCAPE:	183,761 SF
HARD SCAPE:	17,562 SF
BUILDING:	10,000 SF
PLAYGROUND:	5,040 SF

**BUILDING DATA**

DAYCARE/LEARNING FACILITY	= 10,000 SF
TOTAL	= 10,000 SF
MAX BUILDING HEIGHT PERMITTED:	50 FT
PROPOSED BUILDING HEIGHT:	28 FT

**PARKING DATA**

PARKING PROVIDED:	
STANDARD STALLS	= 38 STALLS
ACCESSIBLE STALLS	= 2 STALLS
TOTAL STALLS	= 40 STALLS
PARKING REQUIRED:	
DAYCARE: 1 STALL PER 300 SF (34 STALLS)	
TYPICAL STALL DIMENSIONS:	8.5'x19'
AISSLE WIDTH:	25'

**NOTES**

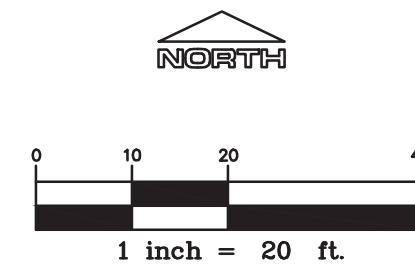
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON SURVEY PREPARED BY AXIS SURVEY AND MAPPING, DATED AUGUST 23, 2017. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEMARK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEMARK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES AND EXISTING IMPROVEMENTS WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS ON THE PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, SIDEWALKS, RAMPS & TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- DIMENSIONS SHOWN REFER TO FACE OF CURB, FACE OF BUILDING OR TO THE CENTERLINE OF PAVEMENT STRIPING, UNLESS OTHERWISE NOTED.
- ALL PAVED PARKING LOT AREAS WITHIN THE LIMITS OF IMPROVEMENTS SHALL BE STANDARD DUTY PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN FOR THE CITY ENGINEER'S APPROVAL PRIOR TO ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- FIRE LANE STRIPING AROUND BUILDING PERIMETER AND ALONG FIRE TRUCK ACCESS WAYS SHALL BE INSTALLED AS PART OF THIS CONTRACT, IN ACCORDANCE WITH THE LOCAL CODE AND FIRE MARSHALL REQUIREMENTS.
- REFER TO BOUNDARY SURVEY FOR LEGAL DESCRIPTION, DIMENSIONS OF PROPERTY LINES, BASIS OF BEARINGS & BENCHMARK INFORMATION. (SEE SHEET CS-1)
- SEE SHEET C-1.1 FOR SITE DIMENSIONS.
- ALL ON-SITE PAINTED STRIPING SHALL BE DOUBLE COATED. SEPARATE COATS SHALL BE APPLIED NO SOONER THAN 4 HOURS APART. (CONTRACTOR TO REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL PAVING MARKING REQUIREMENTS.)
- PARKING LOT STRIPING SHALL BE YELLOW, 4" WIDTH, & DOUBLE COATED, UNLESS OTHERWISE NOTED. LIGHT POLE BASES TO BE PAINTED TRAFFIC YELLOW (DOUBLE COAT)
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL ISLANDS WITH CURB AND GUTTER SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE 18" CURB AND GUTTER. ALL REMAINING ISLANDS ARE TO BE STRIPED AS SHOWN.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- PYLON SIGNS SHALL BE CONSTRUCTED BY OTHERS. THE CONTRACTOR SHALL INSTALL CONDUIT AND ELECTRICAL CIRCUIT BETWEEN THE PYLON SIGN(S) AND THE LIGHTING PANEL.
- THE SITEMARK CONTRACTOR SHALL CONNECT ALL LIGHTS WITHIN THE RETAIL STORE'S DEMISED AREA TO THE SECURITY CIRCUIT AS SHOWN ON THE ELECTRICAL PLAN.
- CURB RADII ADJACENT TO PARKING STALLS SHALL BE 2'. ALL OTHER CURB RADII SHALL BE 10', UNLESS OTHERWISE NOTED.

**SETBACKS**

EAST MIN.	35'
NORTH MIN.	10'
EAST PROVIDED	86'
NORTH PROVIDED	10'

NOTE:  
 ALL FENCING ADJACENT WETLAND BUFFERS SHALL BE INSTALLED PRIOR TO CONSTRUCTION. WILL INSTALL CRITICAL AREA IDENTIFICATION SIGN EVERY 100' ALONG FENCING. TEMPORARY FENCE NEED TO BE PROVIDED ALONG THE RETAINING WALL UNTIL FINAL GRADES ARE ACHIEVED.

**Attachment 1 - Site Plan**



**LEGEND**

- ■ ■ ■ — PROPERTY LINE
- - - - - EASEMENT
- PROPOSED BUILDING
- - - - - EXISTING GRADE
- FL — PROPOSED GRADE
- 273.21 SPOT ELEVATION
- TC TOP OF CURB
- FL FLOW LINE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- - - - - RIDGE LINE
- - - - - SWALE
- SD — ROOD DRAIN LEADER

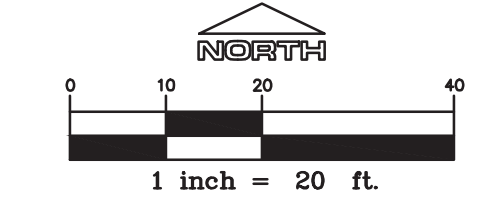
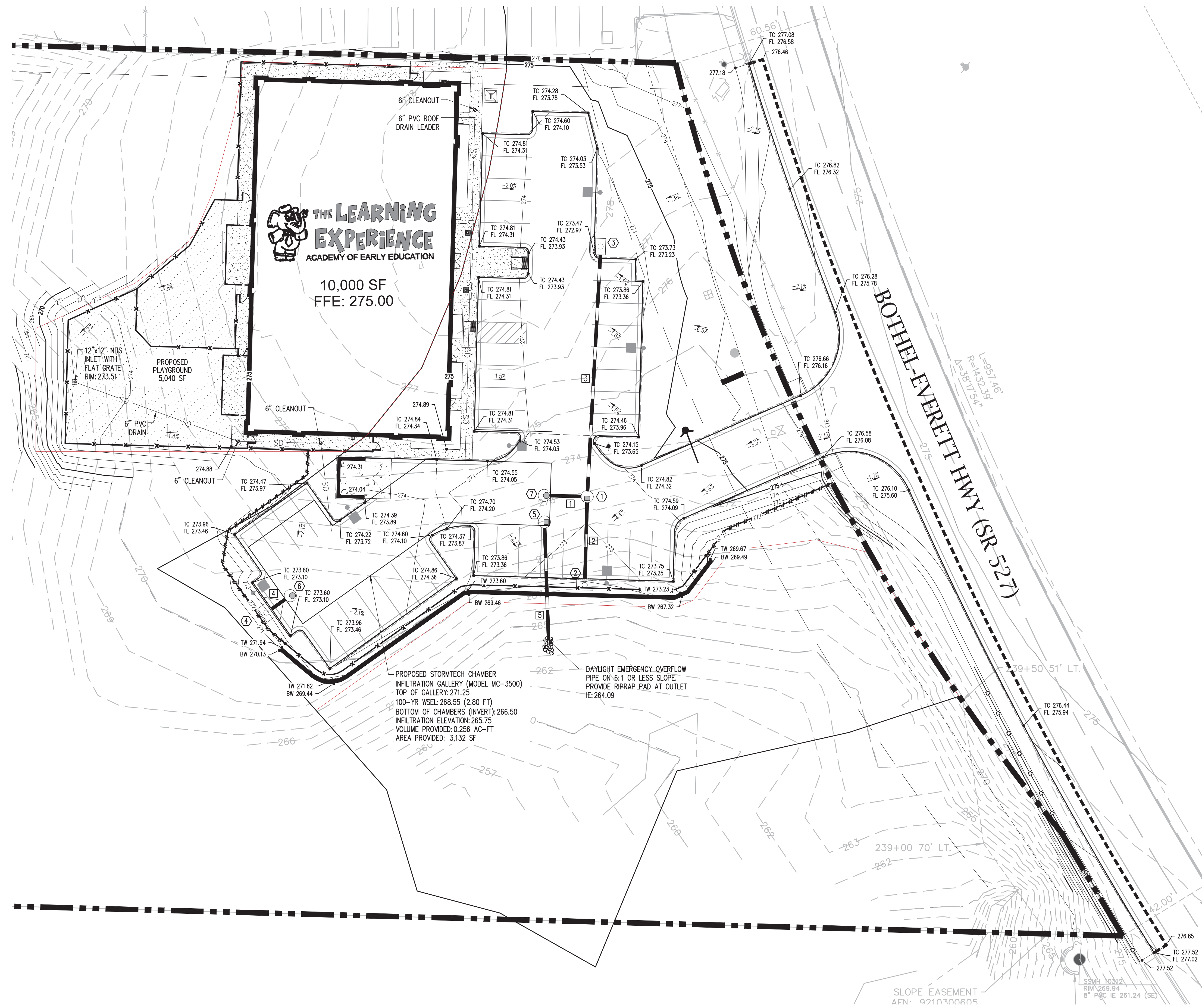
**STORM DRAINAGE NOTES**

- ALL CATCH BASINS TO BE TYPE I UNLESS OTHERWISE REQUIRED.
- ALL CATCH BASINS WITH A DEPTH OVER FIVE FEET TO THE FLOW LINE SHALL BE TYPE II.
- STANDARD LADDER STEPS SHALL BE PROVIDED IN ALL CATCH BASINS AND MANHOLES EXTENDING OVER FIVE FEET IN DEPTH.
- ALL DRAINAGE STRUCTURES SHALL INCORPORATE A DUCTILE IRON FRAME AND GRATE OR SOLID LID IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
  - STRUCTURES RECEIVING FLOW IN ONLY ONE DIRECTION SHALL INCLUDE A VANED FRAME AND GRATE.
  - STRUCTURES IN A CURB LINE RECEIVING FLOW IN TWO DIRECTIONS SHALL USE A THROUGH CURB INLET WITH A VANED BI-DIRECTIONAL GRATE WITH A FULL HEIGHT DIAMOND PLATE HOOD.
  - ROLLED FRAME AND GRATES MAY BE USED ONLY WHERE APPROVED BY THE CITY ENGINEER.
  - STRUCTURES OUTSIDE A CURB LINE RECEIVING FLOW FROM MULTIPLE DIRECTIONS MAY USE A FRAME AND GRATE WITH A FLAT HERRINGBONE PATTERN OR EQUIVALENT.
- ALL DRAINAGE STRUCTURES OUTSIDE A WATER COLLECTION AREA SHALL HAVE SOLID LIDS UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL GRATES OR SOLID LIDS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE NON-LOCKING. GRATES AND SOLID LIDS OUTSIDE PUBLIC RIGHT-OF-WAY MAY BE LOCKING AT THE OWNER'S DISCRETION.
- ALL FRAME GRATES OR SOLID LIDS SHALL HAVE AN HS-25 RATING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL FRAMES AND GRATES OR SOLID LIDS PRIOR TO FINAL PAVING. ALL UTILITY MANHOLES, VALVES AND SURVEY MONUMENTS SHALL BE ADJUSTED AFTER PAVING.
- STUB OUTS FOR TRADITIONAL YARD, FOUNDATION AND ROOF DRAINS SHALL BE INSTALLED BEHIND THE SIDEWALK AS REQUIRED. POSITIVE DRAINAGE IS TO BE PROVIDED WITH A CONNECTION TO THE NEAREST CATCH BASIN STRUCTURE. THE LOCATION AND TYPE OF STUB-OUT SHALL BE INDICATED WITH AN ABOVE GROUND MARKER.
- ALL STORM WATER DETENTION AND WATER QUALITY FACILITIES, FLOW CONTROL STRUCTURES, PIPES AND CATCH BASINS SHALL BE JETTED AND CLEANED PRIOR TO FINAL CITY ACCEPTANCE.
- ALL STORM DRAINS PIPES SHALL BE 12" MINIMUM DIAMETER UNLESS APPROVED BY THE CITY ENGINEER. PIPE AND JOINT MATERIALS SHALL BE IN ACCORDANCE WITH SECTIONS 7-04 AND 9-05 OF THE WSDOT STANDARD SPECIFICATIONS.

Structure Table			
#	TYPE	RIM	INVERT
1	Type II Catch Basin	RIM = 273.20	IE IN: 268.51 12" N IE IN: 268.51 12" S IE OUT: 268.31 12" W
2	FILTERRA WQ UNIT	RIM = 272.57	IE OUT: 269.14 12" N
3	FILTERRA WQ UNIT	RIM = 272.97	IE OUT: 269.44 12" S
4	FILTERRA WQ UNIT	RIM = 272.92	IE OUT: 268.32 12" NE

FLOW CONTROL STRUCTURES			
#	TYPE	RIM	INVERT
5	EMERGENCY OUTLET FLOW CONTROL	RIM = 273.30	IE IN: 266.50 IE OUT: 265.00
6	ISOLATOR ROW FLOW CONTROL	RIM = 273.05	IE IN: 268.00 IE OUT: 266.50
7	ISOLATOR ROW FLOW CONTROL	RIM = 273.45	IE IN: 268.00 IE OUT: 266.50

Pipe Table			
#	Size	Length	Slope
1	12	14	2.2%
2	12	31	2.0%
3	12	93	1.0%
4	12	7	5.0%
5	12	45	2.0%



# THE LEARNING EXPERIENCE

CHILDCARE FACILITY DEVELOPMENT  
 17512 BOTHELL EVERETT HWY, MILL CREEK  
 SNOHOMISH COUNTY, WASHINGTON  
 PARCEL: 27050700401600

Attachment 2 - Color Elevations

4100  
 Wadsworth Boulevard  
 Suite 300  
 Wheat Ridge  
 CO 80033  
 720-599-3330 - P  
 303-987-2304 - X

**ROGUE**  
 ARCHITECTURE  
 CHALLENGING THE STATUS QUO

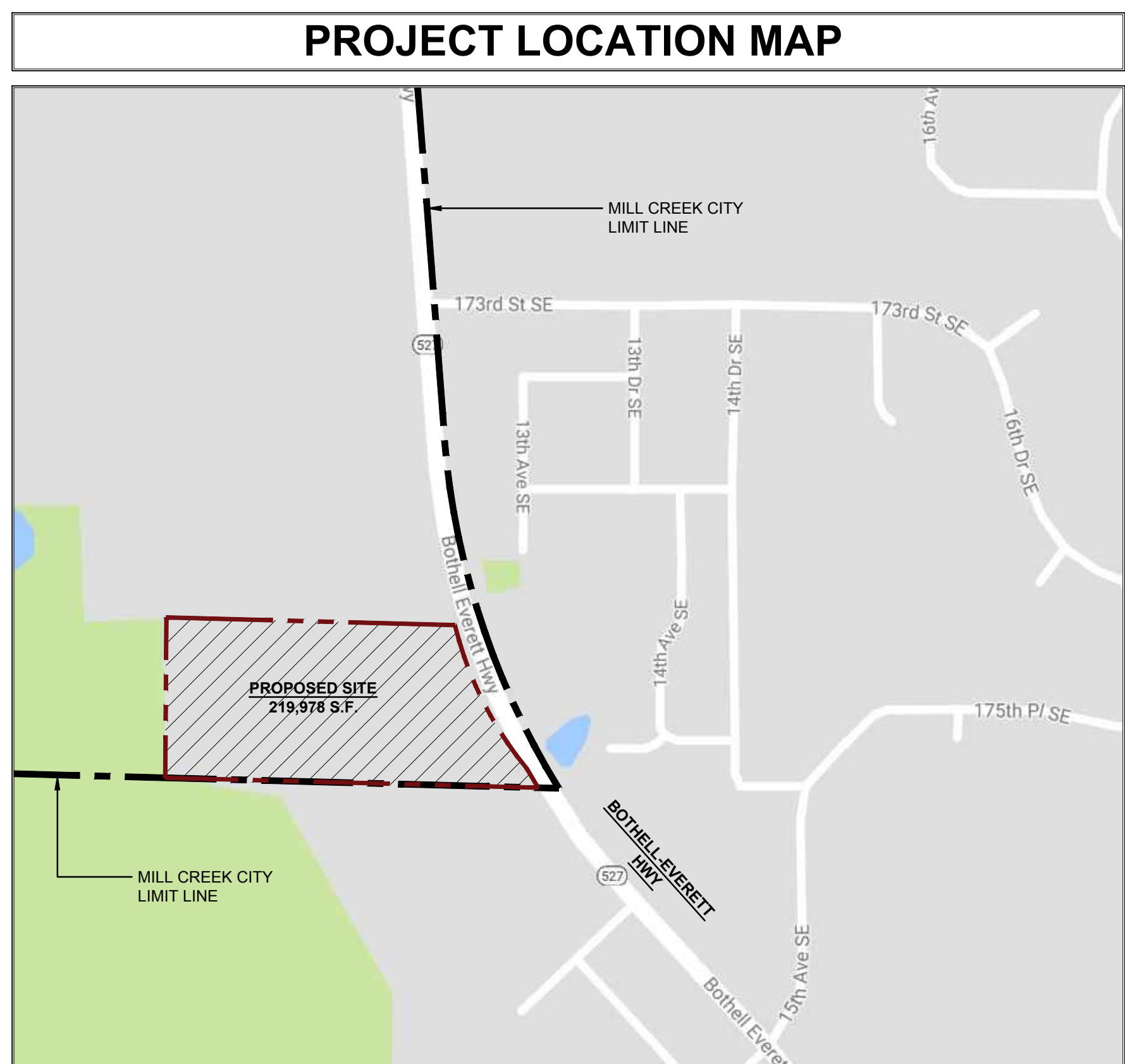
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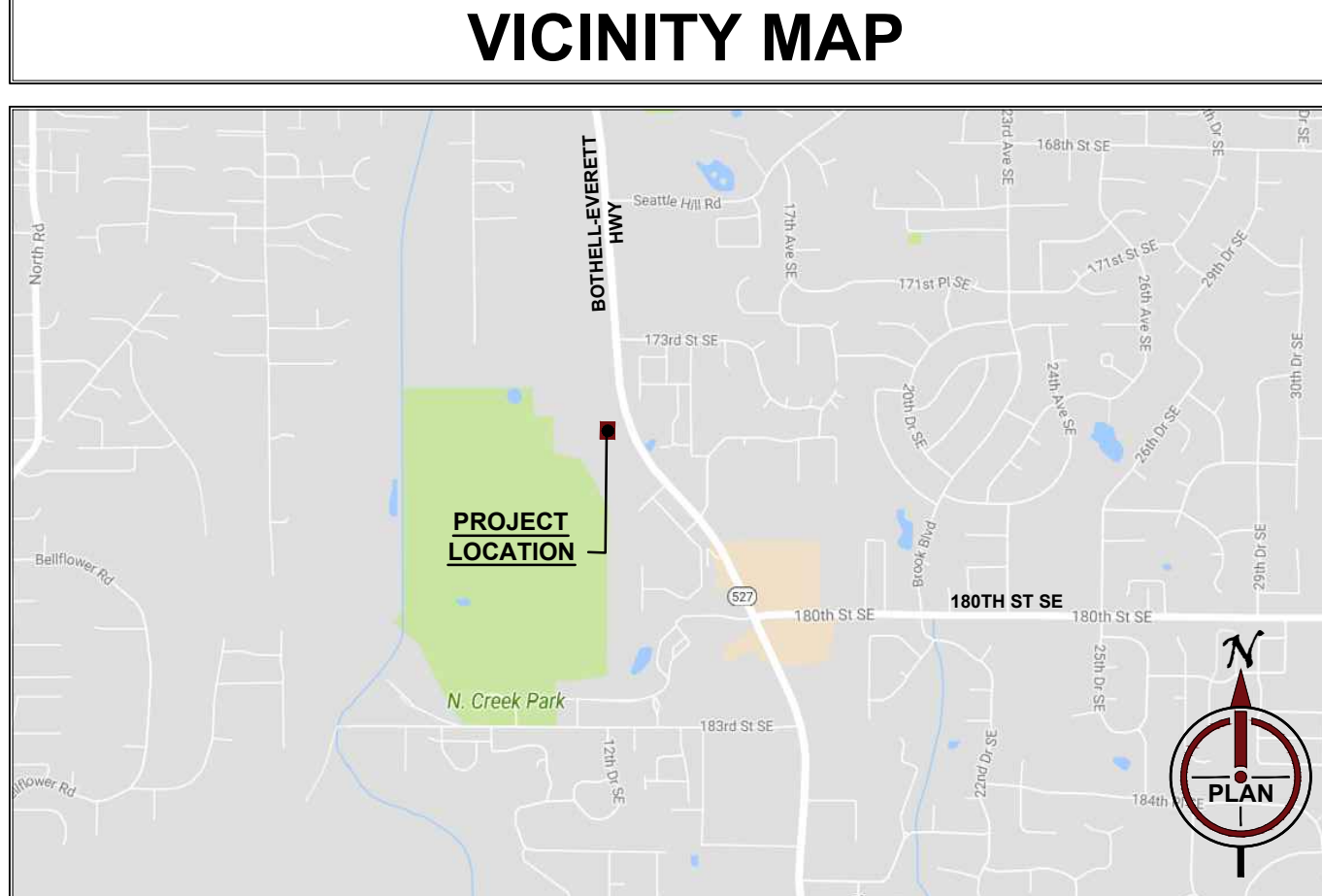


THE LEARNING EXPERIENCE  
 ACADEMY OF EARLY EDUCATION  
 17512 BOTHELL EVERETT PKWY.  
 MILL CREEK, WASHINGTON

SITE BUILDING SUMMARY			
GROSS SITE AREA	219,978 SQ.FT	5.05 ACRES	
GROSS BUILDING FLOOR AREA	10,000 SQ.FT		
OCCUPANCY TYPE	I-4		
BUILDING USE: (PROPOSED TENANT)	DAYCARE		
OCCUPANCY LOAD	184 (Approximate)		
BUILDING CONSTRUCTION TYPE	V-B (Fully Sprinkled)		
ZONING DISTRICT	ON SITE	EXISTING	PROPOSED
		BP - BUSINESS PARK	BP - BUSINESS PARK
	NORTH	BP BUSINESS PARK	
	EAST	-	
	SOUTH	OUTSIDE CITY LIMITS	
	WEST	BP BUSINESS PARK	
SETBACKS		REQUIRED	PROVIDED
	NORTH (SIDE)	10'-0"	10'-0"
	EAST (FRONT)	35'-0"	86'-0"
	SOUTH (SIDE)	-	-
	WEST (REAR)	-	-
OFF-STREET PARKING	TOTAL SPACES (1 PER 300 S.F.)	34	40
	ACCESSIBLE SPACES	2	2
	REGULAR SPACES	33	38



PROJECT TEAM		
<b>OWNER:</b> 970 Elevation Development, LLC 201 14th Avenue, Suite 200G Glenwood Springs, CO 81601 970-379-2840 Contact: Mr. Bill Crowley mntventures@yahoo.com	<b>LANDSCAPE ARCHITECT:</b> SCJ Alliance 8730 Tallon Lane NE, Suite 200 Lacey, WA 98516 360-352-1465 Contact: Mr. Jeff Glander info@scjalliance.com	<b>TENANT:</b> The Learning Experience 210 Hillsboro Technology Drive Deerfield Beach, FL 33441 561-886-6400 Contact: Ms. Michelle G. Kuper mkuper@tlcorp.com
<b>ARCHITECT:</b> Rogue Architecture 4100 Wadsworth Blvd., Suite 300 Wheat Ridge, CO 80033 720-599-3330 Contact: Mr. Scott Boduch, AIA Sboduch@roguearchitecture.com Architect of Record: Juan G. Luna, AIA	<b>CIVIL ENGINEER:</b> RidgeTop Engineering 5255 Ronald Reagan Blvd., Suite 210 Johnstown, CO 80534 970-693-4552 Contact: Mr. Mike Beach mbeach@ridgetopeng.com	<b>ELECTRICAL ENGINEER:</b> JCAA Consulting Engineers 4100 Wadsworth Boulevard, Suite 200 Wheat Ridge, CO 80033 303-965-3260 Contact: Mr. Clarence Bernal, cbernal@jcaace.com



DRAWING INDEX		
ISSUE	SHEET No.	SHEET DESCRIPTION
03.09.2018 - DRB SUBMITTAL		
01.19.2018 - DRB SUBMITTAL		
11.27.2017 - DRB SUBMITTAL		
<b>GENERAL</b>		
●	ATS	ARCHITECTURAL TITLE SHEET
<b>ARCHITECTURAL</b>		
●	A-1	PROPOSED EXTERIOR ELEVATIONS
●	A-2	PROPOSED EXTERIOR ELEVATIONS
●	A-3	SITE & SIGNAGE DETAILS
●	A-4	PROPOSED ROOF PLAN
●	A-5	SITE SECTIONS
●	A-6	PHOTOMETRIC PLAN
●	A-7	PHOTOMETRIC CUT SHEETS
<b>LANDSCAPE</b>		
●	LS-01	PRELIMINARY LANDSCAPE PLAN
●	LS-02	PLANT PHOTOS
●	C-5.0	TREE PLAN
<b>CIVIL ENGINEERING</b>		
●	C-1.0	SITE PLAN
●	C-2.0	GRADING PLAN

ISSUE			
NO.	DATE	DESCRIPTION	INT.
11.08.2017		DEMOLITION PERMIT	
11.22.2017		DESIGN REVIEW BOARD	
03.09.2018		DESIGN REVIEW BOARD	

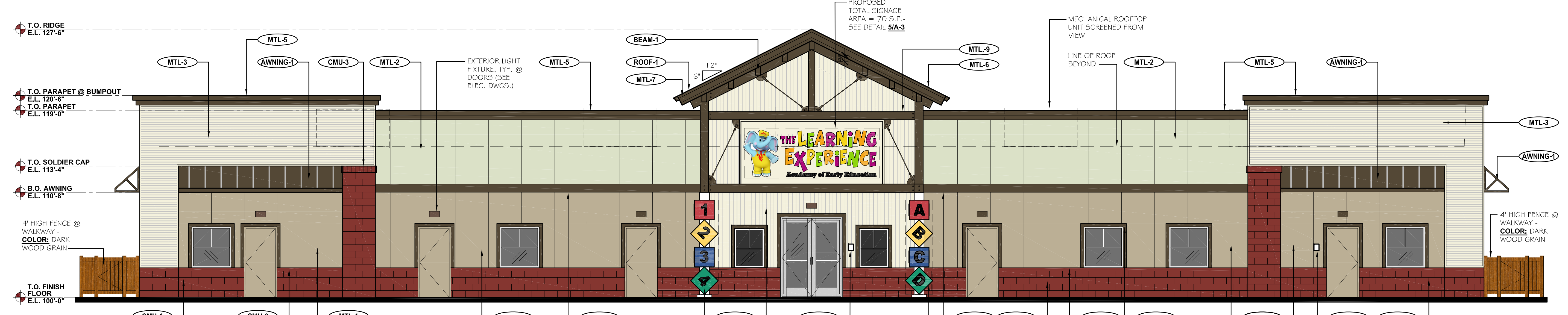
REVISION			
NO.	DATE	DESCRIPTION	INT.

**PRELIMINARY**  
 NOT FOR  
 CONSTRUCTION.

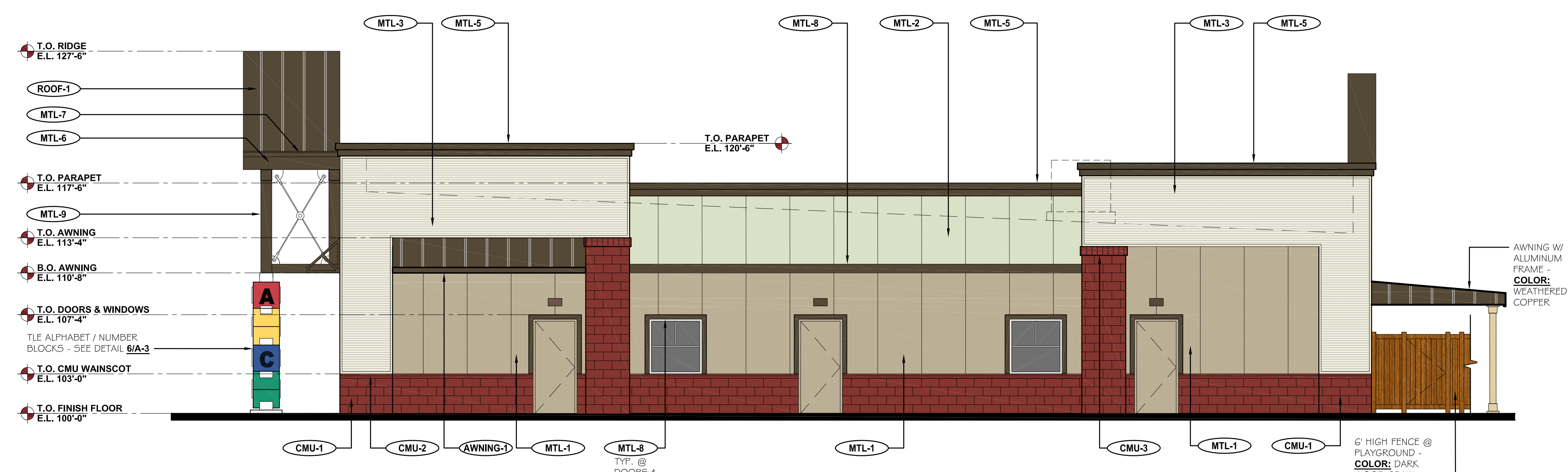
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Drawn By: ROGUE	Approved By: SAB
Drawing Name: <b>ARCHITECTURAL TITLE SHEET</b>	
Drawing Number: <b>ATS</b>	

R:\PROJECTS\2017.23 - SITE WEST - TLE MILL CREEK, WACAD\DESIGN REVIEW BOARD\TLE MILL CREEK, WASHINGTON - ATS - ARCHITECTURAL TITLE SHEET.DWG SLEVESQUE PLOTTED: 03/09/2018

DESIGN REVIEW BOARD - 03.09.2018



**2 FRONT SIDE ELEVATION (EAST)**  
SCALE: 3/16" = 1'-0"



**1 RIGHT SIDE ELEVATION (NORTH)**  
SCALE: 3/16" = 1'-0"

**EXTERIOR MATERIAL SCHEDULE**

LABEL	MANUFAC.	SIZE/TYPE	FINISH COLOR
ALUMINUM STOREFRONT DOOR	KAWNEER	TRIFAB 45 I PER DOOR SCHEDULE	COLOR: BONE WHITE FACTORY PRIMED
WINDOW	ANDERSEN SILVERLINE 2950 (ANDERSEN AS APPROVED ALTERNATE)	PER WINDOW SCHEDULE	COLOR: BENJAMIN MOORE - NORTHAMPTON PUTTY (HC-89) COLOR: WHITE
CMU-1 CONCRETE MASONRY UNIT	TRENDSTONE	STYLE: TRENDSTONE / GROUND-FACE PATTERN: RUNNING BOND	COLOR: FUEGO RED
CMU-2 WINDOW LEDGE	TRENDSTONE	STYLE: TRENDSTONE / GROUND-FACE PATTERN:	COLOR: FUEGO RED
CMU-3 PILASTER CAP	TRENDSTONE	STYLE: TRENDSTONE / GROUND-FACE PATTERN: SOLDIER COURSE	COLOR: FUEGO RED
ROOF-1 METAL ROOF	AMERICAN BUILDINGS COMPANY	METAL ROOFING SYSTEM @ ENTRY TOWER	COLOR: WEATHERED COPPER, SR .34, SRI 36
MTL-1 INSULATED METAL PANELS	AWIP	FINISH: SMOOTH PRODUCT: FLAT (FL40) THICKNESS: 2 1/2"	COLOR: SURREY BEIGE
MTL-2 INSULATED METAL PANELS	AWIP	FINISH: SMOOTH PRODUCT: FLAT (FL40) THICKNESS: 2 1/2"	COLOR: SANDSTONE
MTL-3 CORRUGATED METAL PANELS	AMERICAN BUILDINGS COMPANY	PRODUCT: ARCHITECTURAL III	COLOR: WARM WHITE
MTL-4 INSULATED METAL PANELS	AWIP	FINISH: 4" VERTICAL RIBBED PRODUCT: FLAT (FL40) THICKNESS: 4"	COLOR: IMPERIAL WHITE
MTL-5 METAL COPING	AMERICAN BUILDINGS COMPANY	PREFINISHED	COLOR: WEATHERED COPPER, SR .34, SRI 36
MTL-6 METAL PANEL FASCIA	AMERICAN BUILDINGS COMPANY	PREFINISHED	COLOR: WEATHERED COPPER, SR .34, SRI 36
MTL-7 DRAINAGE	AMERICAN BUILDINGS COMPANY	PREFINISHED ROOF SCUPPER & DOWNSPOUT, OVERFLOW SCUPPER AND GUTTERS	COLOR: WEATHERED COPPER, SR .34, SRI 36
MTL-8 METAL ACCENT BANDING	AMERICAN BUILDINGS COMPANY	PREFINISHED	COLOR: WEATHERED COPPER, SR .34, SRI 36
MTL-9 ENTRY FRAMING	APPROVED STEEL MFR.	PREFINISHED	COLOR: WEATHERED COPPER, SR .34, SRI 36
AWNING-1 MTL AWNING	AMERICAN BUILDINGS COMPANY	PREFINISHED	COLOR: WEATHERED COPPER, SR .34, SRI 36
BEAM-1 WOOD BEAM W/ MTL. CAP	AMERICAN BUILDINGS COMPANY	FAUX WOOD BEAM W/ PREFINISHED METAL CAP SIZE: 6" X 11" X 1'-5"	METAL COLOR: WEATHERED COPPER, SR .34, SRI 36
KBOX-1 KNOX BOX	KNOX	KNOX BOX 3200 SERIES W/ RECESSED MOUNT FLANGE HINGE DOOR & TAMPER SWITCH.	MAIN ENTRY (REFER TO NOTE #2 BELOW)
KBOX-2 KNOX BOX	KNOX	KNOX BOX 1 650 SERIES W/ RECESSED MOUNT FLANGE HINGE DOOR & TAMPER SWITCH.	MECHANICAL ROOM (REFER TO NOTE #2 BELOW)

ELEVATION NOTES  
1. G.C. SHALL VERIFY KNOX MODEL(S) AND LOCATIONS W/ AUTHORITY HAVING JURISDICTION PRIOR TO ORDERING / INSTALLATION  
2. COORDINATE ADDRESS SPECS. & LOCATION W/ FIRE DEPT.  
3. ALL EXPOSED DECORATIVE CMU & GROUT / MORTAR SHALL BE PROVIDED W/ INTEGRAL WATER REPELLANT - SEE SPECS.

**ISSUE**

NO.	DATE	DESCRIPTION	INT.
11.08.2017		DEMOLITION PERMIT	
11.22.2017		DESIGN REVIEW BOARD	
03.09.2018		DESIGN REVIEW BOARD	

**REVISION**

NO.	DATE	DESCRIPTION	INT.

**PRELIMINARY**  
NOT FOR  
CONSTRUCTION

Project Number: 2017.23	Scale: AS NOTED
Drawn By: ROGUE	Approved By: SAB
Drawing Name: <b>EXTERIOR ELEVATIONS</b>	
Drawing Number: <b>A-1</b>	

R:\PROJECTS\2017.23 - SITE WEST - TLE MILL CREEK, WACAD\DESIGN REVIEW BOARD\TLE MILL CREEK, WASHINGTON - A-1-PROPOSED EXTERIOR ELEVATIONS (REVISED).DWG SLEVESQUE PLOTTED: 03/08/2018

DESIGN REVIEW BOARD - 03.09.2018

THE LEARNING EXPERIENCE

ACADEMY OF EARLY EDUCATION

17512 BOTHELL EVERETT PKWY.  
MILL CREEK, WASHINGTON

ISSUE

NO.	DATE	DESCRIPTION	INT.
11.08.2017		DEMOLITION PERMIT	
11.22.2017		DESIGN REVIEW BOARD	
03.09.2018		DESIGN REVIEW BOARD	

REVISION

NO.	DATE	DESCRIPTION	INT.

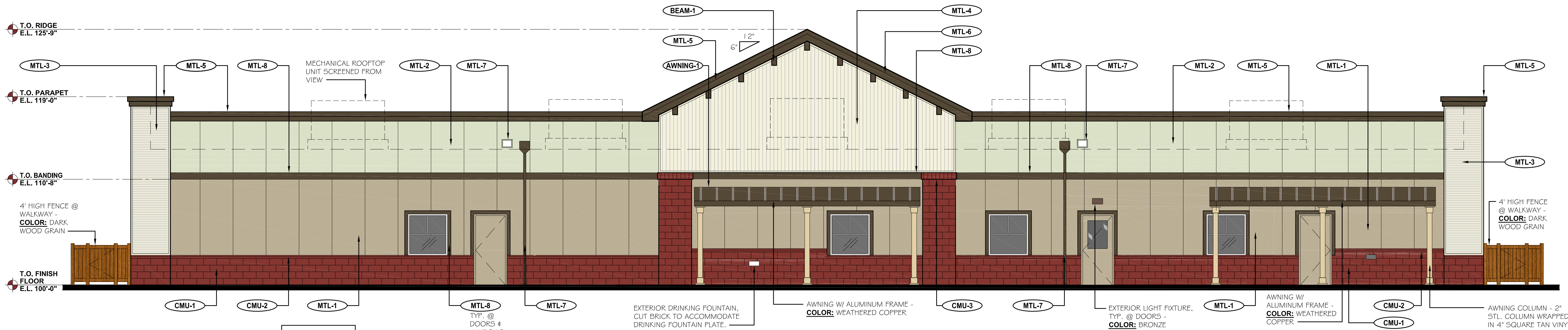
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NOT FOR  
CONSTRUCTION

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Drawn By: ROGUE  
Approved By: SAB

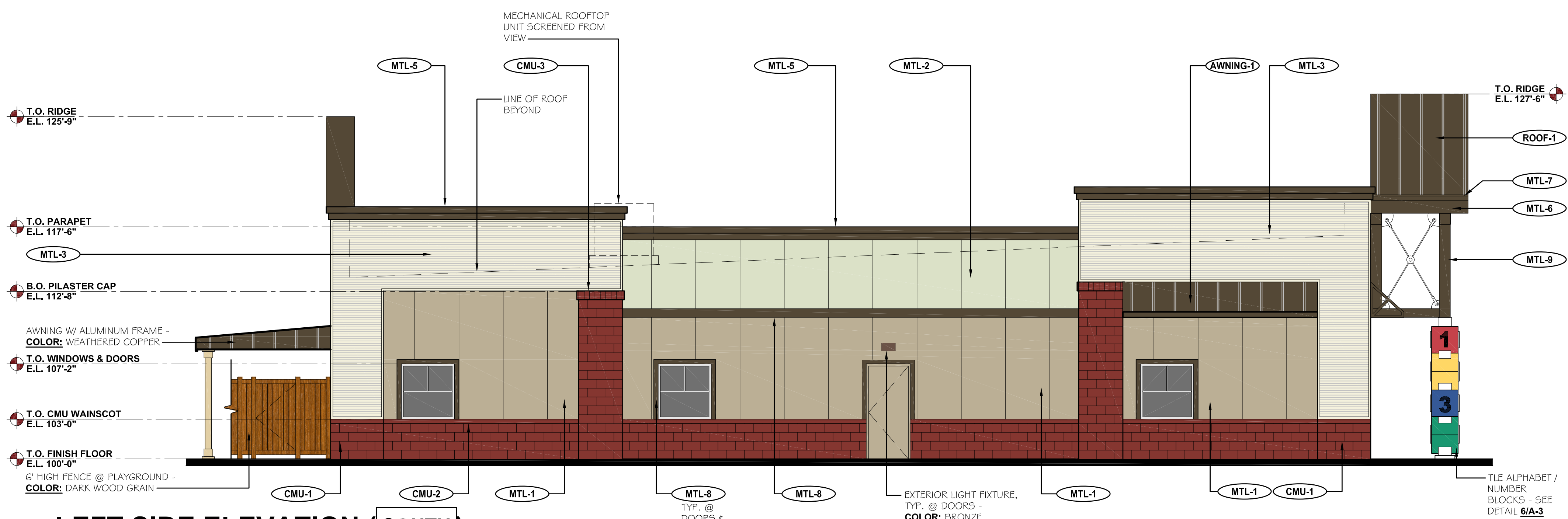
Drawing Name: EXTERIOR ELEVATIONS

Drawing Number: A-2

DESIGN REVIEW BOARD - 03.09.2018



2 REAR SIDE ELEVATION (WEST)  
SCALE: 3/16" = 1'-0"



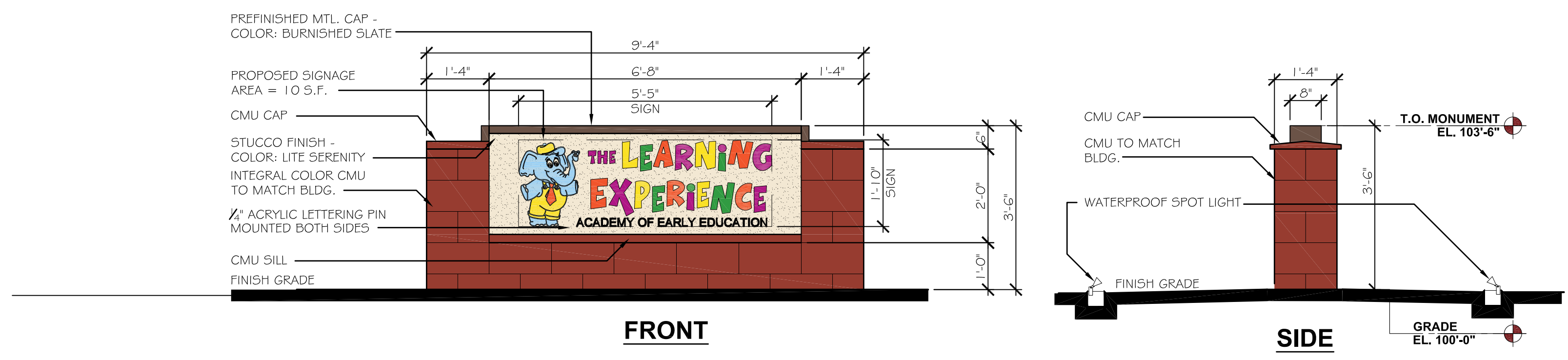
1 LEFT SIDE ELEVATION (SOUTH)  
SCALE: 3/16" = 1'-0"

EXTERIOR MATERIAL SCHEDULE

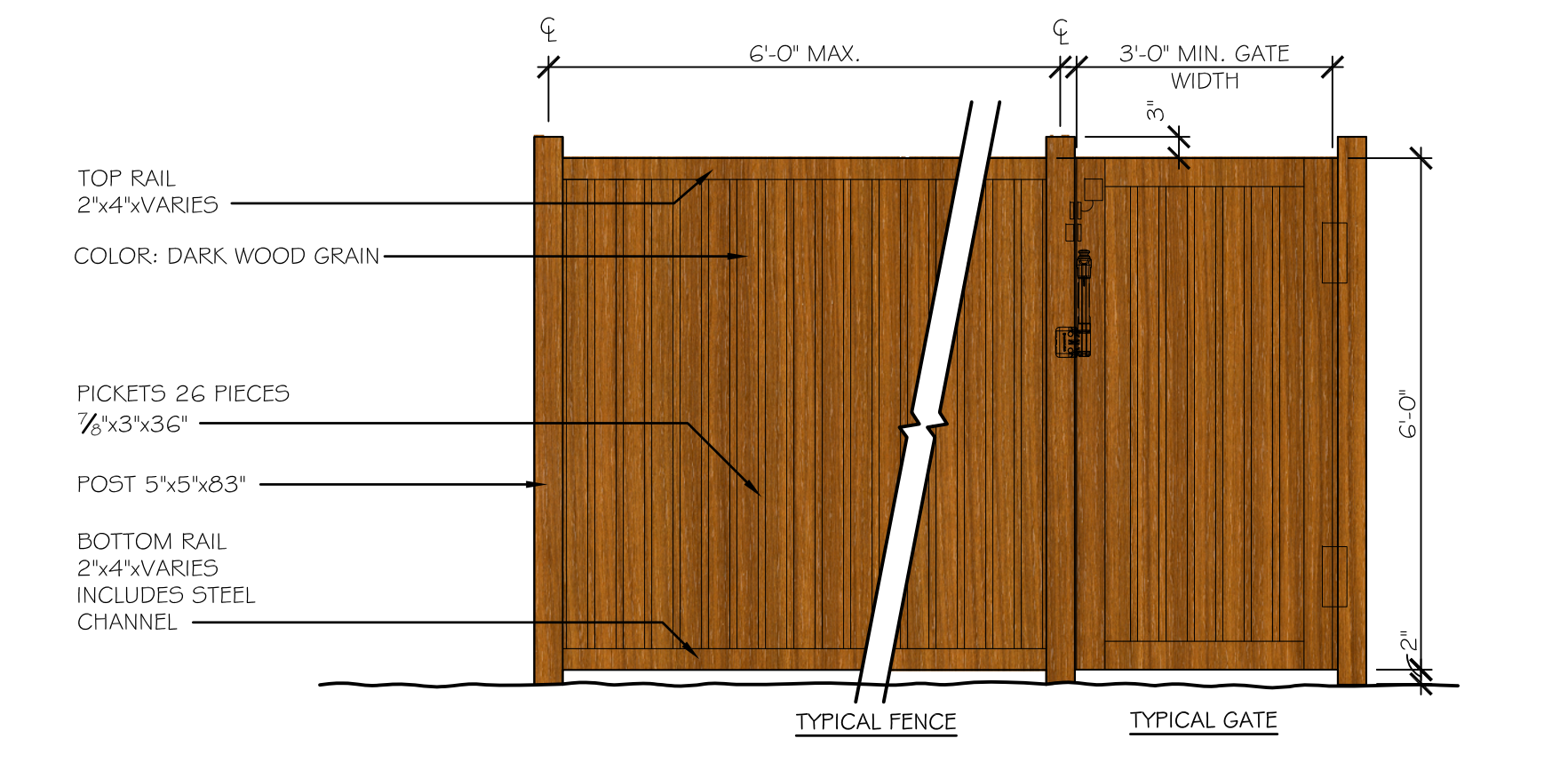
LABEL	MANUFAC.	SIZE/TYPE	FINISH COLOR
ALUMINUM STOREFRONT DOOR	KAWNEER	TRIFAB 45 I	COLOR: BONE WHITE
WINDOW	ANDERSEN SILVERLINE 2950 (ANDERSEN AS APPROVED ALTERNATE)	PER WINDOW SCHEDULE	FACTORY PRIMED COLOR: BENJAMIN MOORE - NORTHAMPTON PUTTY (HC-89) COLOR: WHITE
CMU-1	TRENDSTONE	STYLE: TRENDSTONE / GROUND-FACE PATTERN: RUNNING BOND	COLOR: FUEGO RED
CMU-2	TRENDSTONE	STYLE: TRENDSTONE / GROUND-FACE PATTERN:	COLOR: FUEGO RED
CMU-3	TRENDSTONE	STYLE: TRENDSTONE / GROUND-FACE PATTERN: SOLDIER COURSE	COLOR: FUEGO RED
ROOF-1	AMERICAN BUILDINGS COMPANY	METAL ROOFING SYSTEM @ ENTRY TOWER	COLOR: WEATHERED COPPER, SR .34, SRI 36
MTL-1	AWIP	FINISH: SMOOTH PRODUCT: FLAT (FL40) THICKNESS: 2 1/2"	COLOR: SURREY BEIGE
MTL-2	AWIP	FINISH: SMOOTH PRODUCT: FLAT (FL40) THICKNESS: 2 1/2"	COLOR: SANDSTONE
MTL-3	AMERICAN BUILDINGS COMPANY	PRODUCT: ARCHITECTURAL III	COLOR: WARM WHITE
MTL-4	AWIP	FINISH: 4" VERTICAL RIBBED PRODUCT: FLAT (FL40) THICKNESS: 4"	COLOR: IMPERIAL WHITE
MTL-5	AMERICAN BUILDINGS COMPANY	PREFINISHED	COLOR: WEATHERED COPPER, SR .34, SRI 36
MTL-6	AMERICAN BUILDINGS COMPANY	PREFINISHED	COLOR: WEATHERED COPPER, SR .34, SRI 36
MTL-7	AMERICAN BUILDINGS COMPANY	PREFINISHED ROOF SCUPPER & DOWNSPOUT, OVERFLOW SCUPPER AND GUTTERS	COLOR: WEATHERED COPPER, SR .34, SRI 36
MTL-8	AMERICAN BUILDINGS COMPANY	PREFINISHED	COLOR: WEATHERED COPPER, SR .34, SRI 36
MTL-9	APPROVED STEEL MFR.	PREFINISHED	COLOR: WEATHERED COPPER, SR .34, SRI 36
AWNING-1	AMERICAN BUILDINGS COMPANY	PREFINISHED	COLOR: WEATHERED COPPER, SR .34, SRI 36
BEAM-1	AMERICAN BUILDINGS COMPANY	FAUX WOOD BEAM W/ PREFINISHED METAL CAP SIZE: 6" X 1 1/4" X 1'-5"	METAL COLOR: WEATHERED COPPER, SR .34, SRI 36
KBOX-1	KNOX	KNOX BOX 3200 SERIES W/ RECESSED MOUNT FLANGE HINGE DOOR & TAMPER SWITCH.	MAIN ENTRY (REFER TO NOTE #2 BELOW)
KBOX-2	KNOX	KNOX BOX 1 650 SERIES W/ RECESSED MOUNT FLANGE HINGE DOOR & TAMPER SWITCH.	MECHANICAL ROOM (REFER TO NOTE #2 BELOW)

ELEVATION NOTES  
1. G.C. SHALL VERIFY KNOX MODEL(S) AND LOCATIONS W/ AUTHORITY HAVING JURISDICTION PRIOR TO ORDERING / INSTALLATION  
2. COORDINATE ADDRESS SPECS. & LOCATION W/ FIRE DEPT.  
3. ALL EXPOSED DECORATIVE CMU & GROUT / MORTAR SHALL BE PROVIDED W/ INTEGRAL WATER REPELLANT - SEE SPECS.

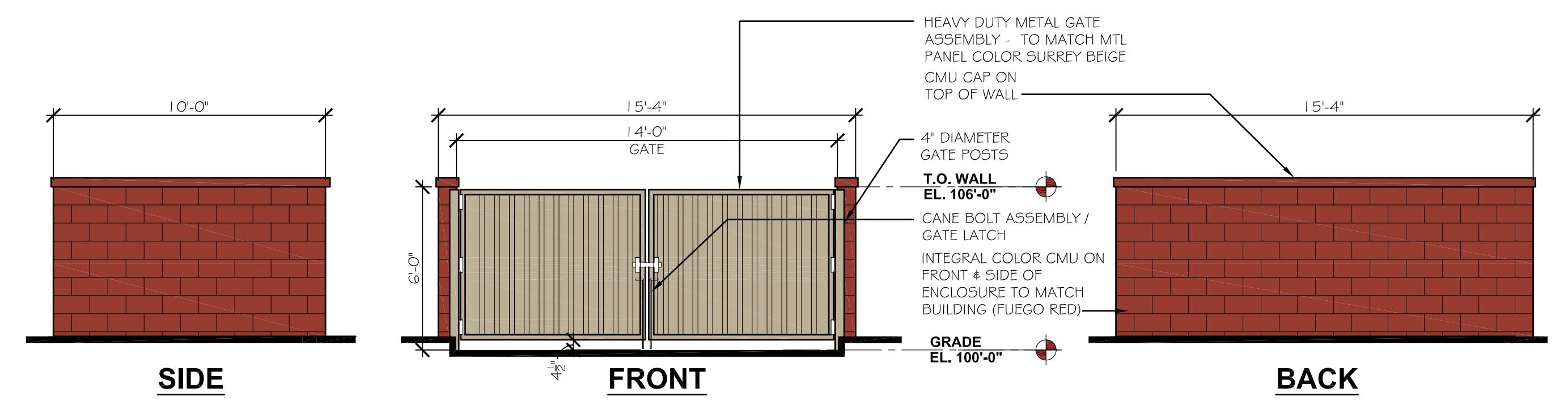
R:\PROJECTS\2017.23 - SITE WEST - TLE MILL CREEK, WACAD\DESIGN REVIEW BOARD\TLE MILL CREEK, WASHINGTON - A-2- PROPOSED EXTERIOR ELEVATIONS (REVISED).DWG SLEVESQUE PLOTTED: 03/08/2018



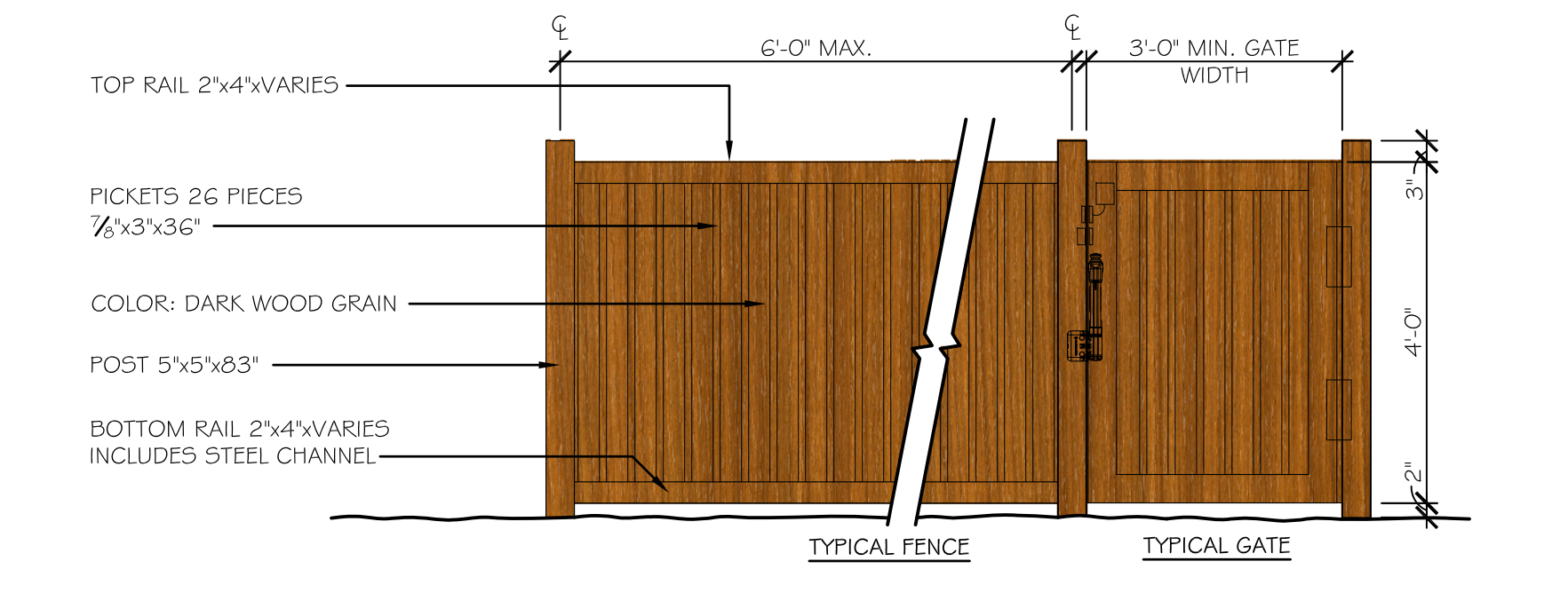
**1 MONUMENT SIGN ELEVATIONS**  
 SCALE: 1/2" = 1'-0"



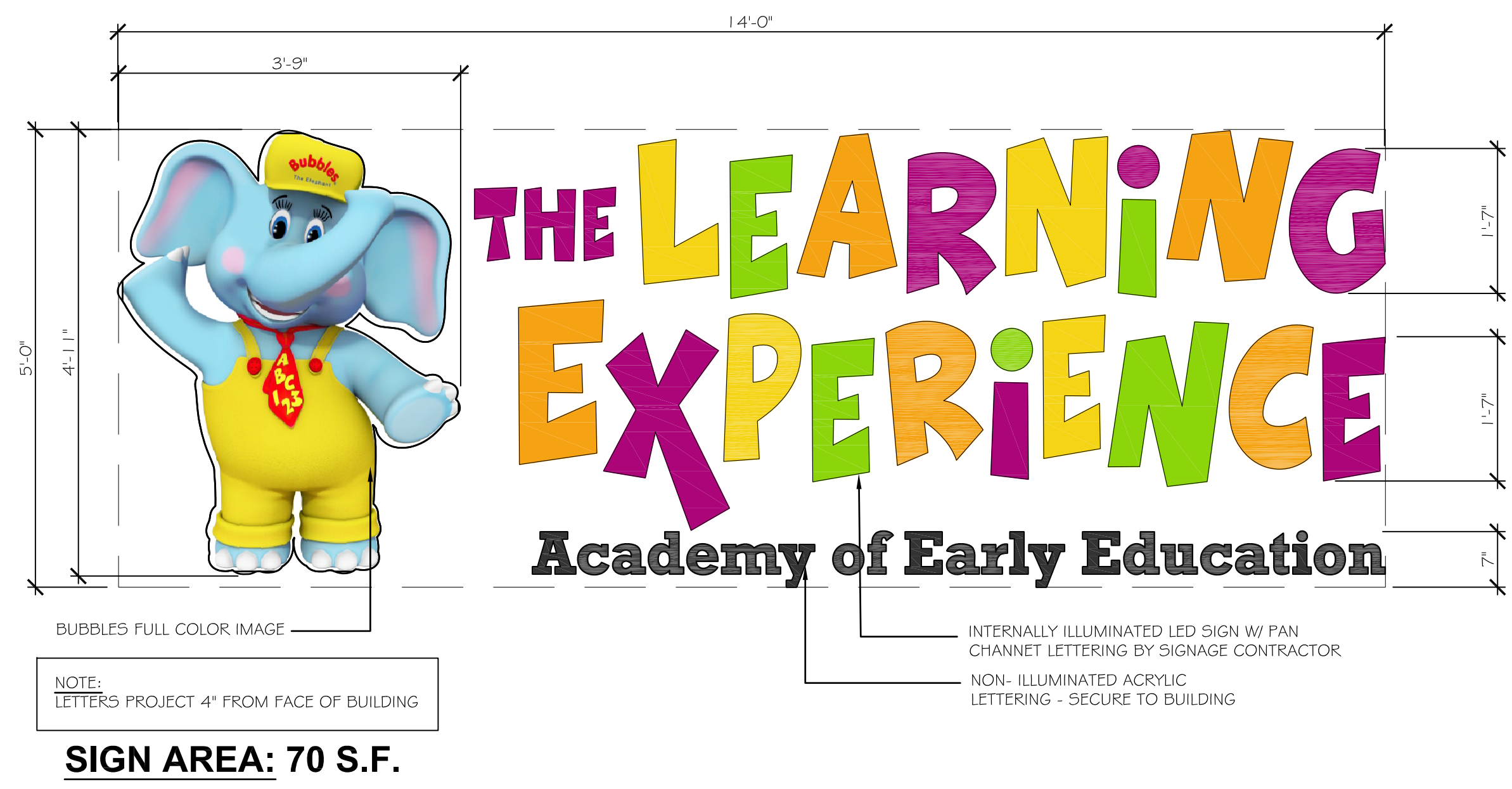
**2 TYP. PVC PLAYGROUND FENCE**  
 SCALE: 1/2" = 1'-0"



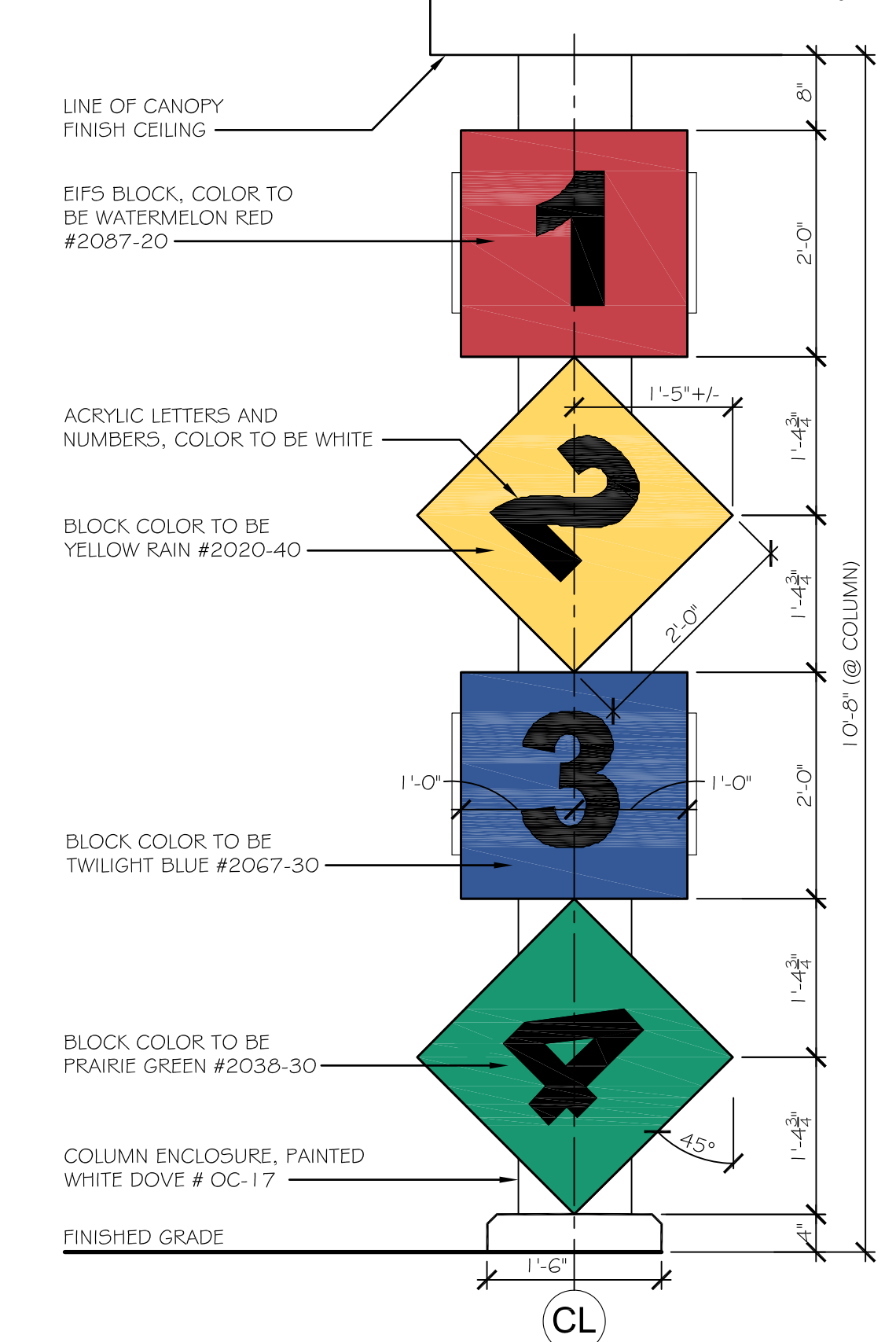
**3 TRASH ENCLOSURE ELEVATIONS**  
 SCALE: 1/4" = 1'-0"



**4 TYP. PVC PERIMETER SIDEWALK FENCE**  
 SCALE: 1/2" = 1'-0"



**5 BUILDING WALL SIGNAGE ELEVATION**  
 SCALE: 3/4" = 1'-0"



**6 ENTRY BLOCKS**  
 SCALE: 3/4" = 1'-0"

**THE LEARNING EXPERIENCE**  
 ACADEMY OF EARLY EDUCATION  
 17512 BOTHELL EVERETT PKWY.  
 MILL CREEK, WASHINGTON

ISSUE			
NO.	DATE	DESCRIPTION	INT.
11.08.2017		DEMOLITION PERMIT	
11.22.2017		DESIGN REVIEW BOARD	
03.09.2018		DESIGN REVIEW BOARD	

REVISION			
NO.	DATE	DESCRIPTION	INT.





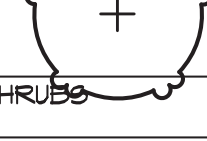












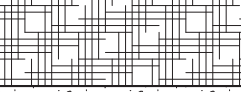
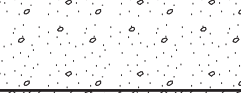
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 CONSTRUCTION

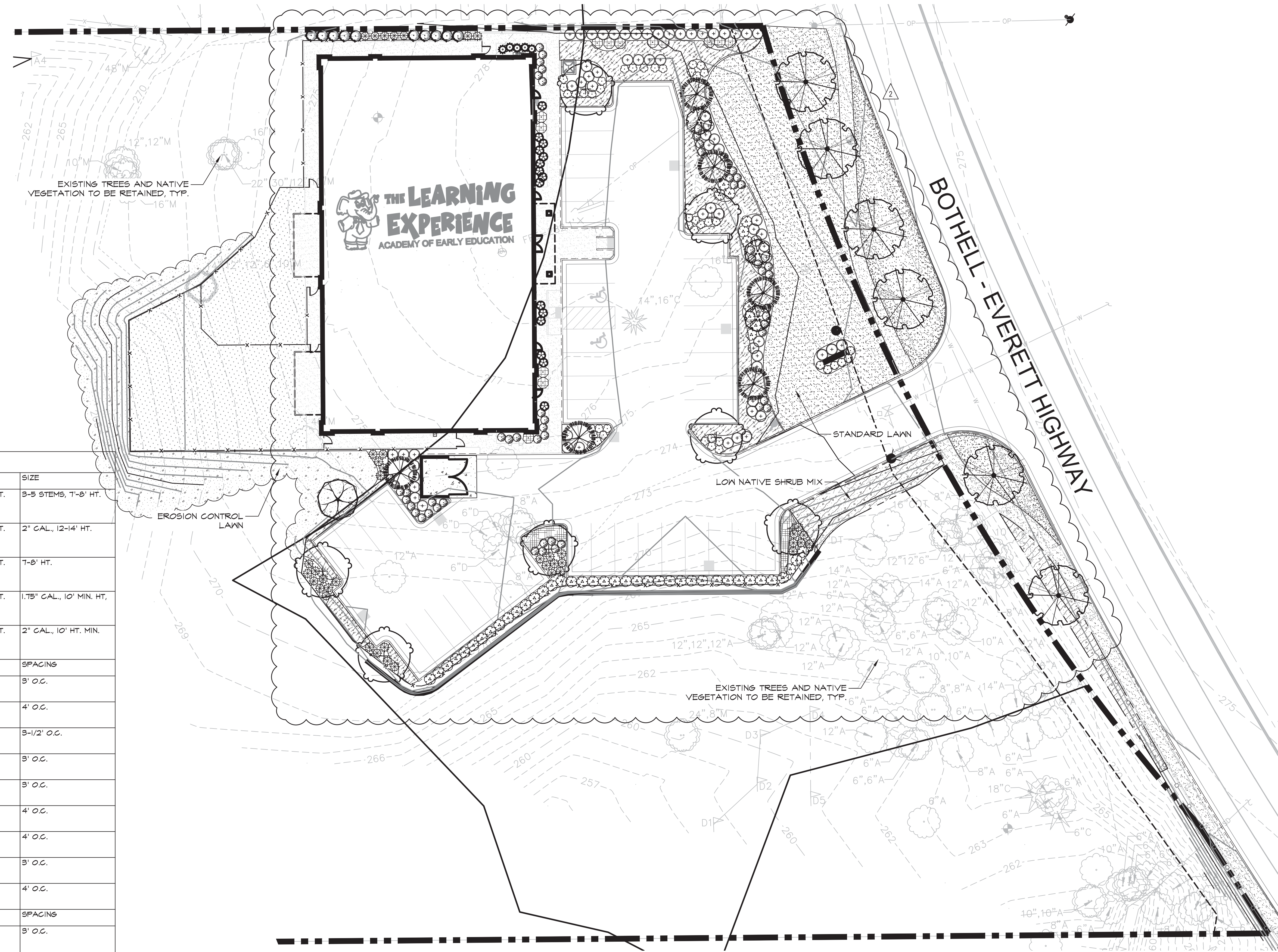
Project Number: 2017.23	Scale: AS NOTED
Drawn By: ROGUE	Approved By: SAB

Drawing Name:  
**SITE & SIGNAGE DETAILS**

Drawing Number:  
**A-3**

Jan 19, 2018 4:16:36pm User: jmcFarland  
 PROJECTS\1884\1884-02 MILL CREEK EARLY CHILDHOOD FACILITY\PHASE 01 - LANDSCAPE IRRIGATION DESIGN\CADD\1884-02 L-LS.DWG

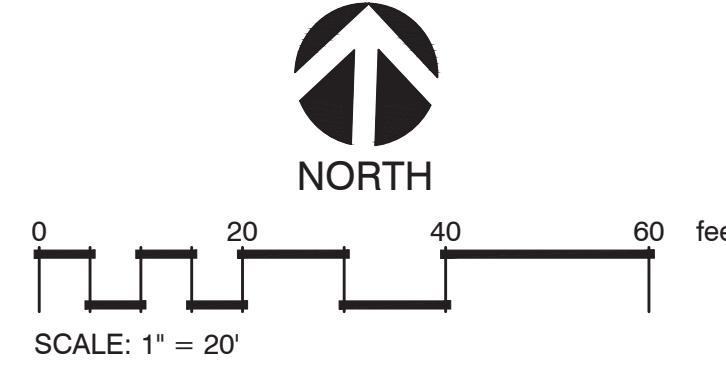
PLANT SCHEDULE				
TREES	QTY	BOTANICAL NAME	CAL	SIZE
	3	ACER CIRCINATUM VINE MAPLE	B&B/CONT.	3-5 STEMS, 7'-8' HT.
	6	ACER PLATANOIDES 'PARKWAY' 'PARKWAY' MAPLE	B&B/CONT.	2" CAL., 12-14' HT.
	6	CHAMAECYPARIS NOOTKATENSIS 'PENDULA' KEEPING ALASKA CEDAR	B&B/CONT.	7-8' HT.
	1	CORNUS KOUSA 'SATOMI' 'SATOMI' DOGWOOD	B&B/CONT.	1.75" CAL., 10' MIN. HT.
	7	LABURNUM X WATERERI 'VOSSII' GOLDEN CHAIN TREE	B&B/CONT.	2" CAL., 10' HT. MIN.
SHRUBS	QTY	BOTANICAL NAME	SIZE	SPACING
	56	BERBERIS THUNBERGII 'CRIMSON PYGMY' CRIMSON PYGMY BARBERRY	2 GAL	3' O.C.
	10	CORNUS SERICEA 'ISANTI' ISANTI DOGWOOD	3 GAL	4' O.C.
	41	MAHONIA AQUIFOLIUM 'COMPACTA' COMPACT OREGON GRAPE	2 GAL	3-1/2' O.C.
	5	MAHONIA NERVOSA DULL OREGON GRAPE	2 GAL	3' O.C.
	15	NANDINA DOMESTICA 'GULF STREAM' 'GULF STREAM' NANDINA	2 GAL	3' O.C.
	13	PHYSCARPUS OPULIFOLIUS 'SEWARD' SEWARD NINEBARK	5 GAL	4' O.C.
	50	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	5 GAL	4' O.C.
	49	SPIRAEA JAPONICA 'LEMON PRINCESS' 'LEMON PRINCESS' SPIRAEA	3 GAL	3' O.C.
	67	VIBURNUM DAVIDII DAVID VIBURNUM	5 GAL	4' O.C.
SHRUB AREAS	QTY	BOTANICAL NAME	CONT	SPACING
	144	LOW NATIVE SHRUB MIX LOW NATIVE SHRUBS MIX SHALL CONSIST OF THE FOLLOWING SHRUBS IN EQUAL NUMBERS, PLANTED IN GROUPS OF 3-5: SYMPHORICARPOS MOLLIS (CREEPING SNOWBERRY) CORNUS SERICEA 'KELSEYI' (KELSEY DOGWOOD) GAULTHERIA SHALLON (SALAL)	1 GAL	3' O.C.
GROUND COVERS	QTY	BOTANICAL NAME	CONT	SPACING
	27	ARCTOSTAPHYLOS UVA-URSI 'EMERALD CARPET' KINKIKINICK	1 GAL	2-1/2' O.C.
	3,499 SF	EROSION CONTROL SEED MIX EROSION CONTROL LAWN	HYDROSEED	
	61	EUONYMUS FORTUNEI 'COLORATA' PURPLE-LEAF WINTER CREEPER	1 GAL	2-1/2' O.C.
	6,936 SF	LAWN X STANDARD MIX HYDROSEED STANDARD LAWN MIX.	HYDROSEED	



**SHEET NOTES**

- REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT/OOWNER.
- ALL WORK SHALL BE PERFORMED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT/OOWNER.
- PLANT LIST QUANTITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN LIST WITH ACTUAL PLAN CALL-OUTS AND INSTALLING PLANTINGS PER THE LANDSCAPE PLAN. GROUNDCOVER QUANTITIES SHALL BE ADJUSTED AS REQUIRED FOR FIELD CONDITIONS AT THE SPECIFIED SPACING.
- ALL PLANTS MUST BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL NEW LANDSCAPE AREAS SHALL BE WATERED WITH A PERMANENT AUTOMATIC IRRIGATION SYSTEM.

**Attachment 3 - Landscape Plan**



REVISIONS	DATE	BY
△	1/12/18	J. MCFARLAND
△	1/12/18	J. MCFARLAND

  
**SCJ ALLIANCE**  
 CONSULTING SERVICES  
 8730 TALLON LANE NE SUITE 200, LACEY, WA 98516  
 P: 360-352-1465 F: 360-352-1509  
 SCJALLIANCE.COM

SHEET TITLE: **PRELIMINARY LANDSCAPE PLAN**  
 PROJECT NAME: **EARLY CHILDHOOD FACILITY**  
 MILL CREEK, WA



DESIGNER:	J. MCFARLAND
DRAWN BY:	DRAWN BY
APPROVED BY:	J. GLANDER
DATE:	March 2018
JOB NO:	1864.02
DRAWING FILE NO:	1864.02 X-LS
DRAWING NO:	LS-01
SHEET NO:	1 OF 2



VINE MAPLE



PARKWAY MAPLE



SATOMI DOGWOOD



WEeping ALASKA CEDAR



GOLDEN CHAIN TREE



CRIMSON PYGMY BARBERRY



GRO-LOW FRAGRANT SUMAC



GRO-LOW FRAGRANT SUMAC (FALL)



NEON FLASH SPIREA,  
SIMILAR TO LEMON PRINCESS



SEWARD NINEBARK



'ISANTI' DOGWOOD



COMPACT OREGON GRAPE



DAVID VIBURNUM



KINNIKINNIK



PURPLE LEAF WINTERCREEPER



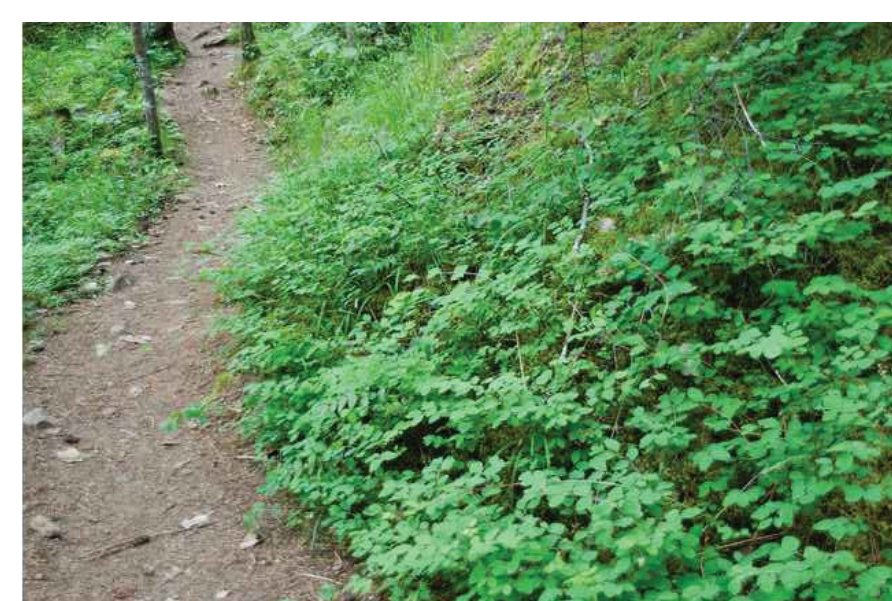
PURPLE LEAF WINTERCREEPER



DULL OREGON GRAPE



SALAL

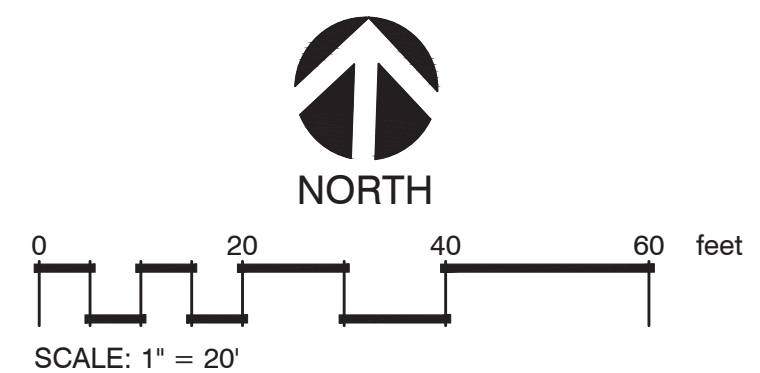


CREeping SNOWBERRY



'KELSEY' DOGWOOD

**LOW NATIVE SHRUB MIX**



REVISIONS	DATE	BY
△	1/13/18	J. MCFARLAND
△	1/12/18	J. MCFARLAND

**SCJ ALLIANCE**  
CONSULTING SERVICES  
8730 TALLON LANE NE SUITE 300, LACEY, WA 98516  
P: 360-352-1465 F: 360-352-1509  
SCJALLIANCE.COM

SHEET TITLE: **PLANT PHOTOS**  
PROJECT NAME: **EARLY CHILDHOOD FACILITY**  
MILL CREEK, WA



DESIGNER:	J. MCFARLAND
DRAWN BY:	
APPROVED BY:	J. GLANDER
DATE:	March 2018
JOB NO:	1864.02
DRAWING FILE NO:	1864.02 X-LS
DRAWING NO:	LS-02
SHEET NO:	2 OF 2

Jan 19, 2018 4:16:36pm User: jrmcfarland  
PROJECTS\1864 PROJECT\1864-02 MILL CREEK EARLY CHILDHOOD FACILITY\PHASE 01 - LANDSCAPE IRRIGATION DESIGN\CADD\1864-02 X-LS.DWG



## Sherrie Ringstad

---

Attachment 4

**From:** Hastings, Tina/SEA <Tina.Hastings@CH2M.com>  
**Sent:** Monday, April 02, 2018 12:08 PM  
**To:** Tom Rogers  
**Cc:** Dave Gunter; Sherrie Ringstad; Gina Hortillosa  
**Subject:** RE: FW: Interpretation of building design elements/graphics [EXTERNAL]

Hi Tom,

I appreciate the response and the clarification. I think this is helpful guidance for the board.

I do suggest that these types of design elements are accepted/denied on a case-by-case basis and documented in the DRB meeting minutes, to avoid the assumption of precedents from future applicants.

Thank you,

*Tina Hastings, P.E., PMP, ENV SP*  
D 425.233.3058  
M 425.533.3523

**CH2M is now Jacobs.**

1100 112<sup>th</sup> Ave NE  
Suite 500  
Bellevue, WA 98004  
[tina.hastings@ch2m.com](mailto:tina.hastings@ch2m.com)  
[www.jacobs.com](http://www.jacobs.com) | [LinkedIn](#) | [Twitter](#) | [Facebook](#)

---

**From:** Tom Rogers [mailto:tomr@cityofmillcreek.com]  
**Sent:** Monday, April 02, 2018 11:35 AM  
**To:** Hastings, Tina/SEA <Tina.Hastings@CH2M.com>  
**Cc:** Dave Gunter <dave.apexmedia2@frontier.com>; Sherrie Ringstad <sherrier@cityofmillcreek.com>; Gina Hortillosa <ginah@cityofmillcreek.com>  
**Subject:** RE: FW: Interpretation of building design elements/graphics [EXTERNAL]

Hi Tina,

I apologize for not responding sooner.

Thank you for your question.

As you point out, there are objectives in the code which appear to contradict other objectives., which is the reason that there is a DRB. The Board needs to weigh what is proposed against the many design objectives, taking into account the specific circumstances of the proposal. If it was easy, staff could have a quantitative scoring and there would be no need for the expertise of the Board.

There are many examples of corporate architecture in the City that has been reviewed and approved by the Board. McDonalds and Lighthouse Storage come to mind. While these projects have the corporate look, the DRB's fingerprints are all over the design. These buildings look better in Mill Creek because of the upgraded building materials, landscaping, and other subtle improvements that come from the application of the City's design standards.

Applying the City's standards is admittedly a balancing act. There is a need to balance the many objectives in the code, the desire of the applicant to building something that meets their vision, and the need to build something that meets

the expectations of the community. In the instant case of TLE, the building is on a busy highway, set back from the road and behind a roadway buffer. The blocks on the column are not going to be a distraction to drivers. The blocks will mostly be noticed by those that have already entered the site. The blocks can be removed if the building is repurposed in the future to another use or tenant. In this case, the staff recommendation will be that the proposed elevations are consistent with the code. However, it is up to the DRB board members to make the decision, using and balancing the relevant design objectives in MCMC 17.32.

I appreciate and respect your service and passion on the DRB. It is clear you take your role on the DRB seriously. Please feel free to call me if you would like to discuss this further.

Tom



**Tom Rogers, AICP**  
Planning and  
Development Services Manager  
[tomr@cityofmillcreek.com](mailto:tomr@cityofmillcreek.com)  
P: 425-9215721 | F: 425-745-9650  
[Facebook](#) | [Twitter](#) | [Instagram](#)

---

**From:** Hastings, Tina/SEA <[Tina.Hastings@CH2M.com](mailto:Tina.Hastings@CH2M.com)>  
**Sent:** Tuesday, March 20, 2018 12:36 PM  
**To:** Sherrie Ringstad <[sherrier@cityofmillcreek.com](mailto:sherrier@cityofmillcreek.com)>; Tom Rogers <[tomr@cityofmillcreek.com](mailto:tomr@cityofmillcreek.com)>  
**Subject:** RE: FW: Interpretation of building design elements/graphics

Hi Tom,  
Part of my concern has to do with the franchise style or signage, which was not addressed by your email below. I highlighted that portion in green.

For the case of the The Learning Experience, the blocks and letters are part of their franchise style, which I believe the board has the right to "strongly discourage". I pulled a picture from their website showing a facility in Brighton, CO (attached). Since the blocks are subject to review as you noted below, then the DRB can "strongly discourage" those elements. Can you provide some guidance on "strongly discourage"? Can we vote against those elements?



Thank you,

Tina Hastings  
D 425.233.3058  
C 425.533.3523

**From:** [dianes@lombardisitalian.com](mailto:dianes@lombardisitalian.com) [mailto:[dianes@lombardisitalian.com](mailto:dianes@lombardisitalian.com)]  
**Sent:** Friday, March 16, 2018 1:01 PM  
**To:** Sherrie Ringstad <[sherrier@cityofmillcreek.com](mailto:sherrier@cityofmillcreek.com)>  
**Cc:** Beverly Tiedje <[bstiedje@earthlink.net](mailto:bstiedje@earthlink.net)>; Dave Gunter <[dave@apexmediaseattle.com](mailto:dave@apexmediaseattle.com)>; David Hambelton <[davidhambelton@aol.com](mailto:davidhambelton@aol.com)>; Hastings, Tina/SEA <[Tina.Hastings@CH2M.com](mailto:Tina.Hastings@CH2M.com)>; Tom Rogers <[tomr@cityofmillcreek.com](mailto:tomr@cityofmillcreek.com)>  
**Subject:** RE: FW: Interpretation of building design elements/graphics [EXTERNAL]

This is very helpful. I am sorry that I had to miss last night.

Diane

-----Original Message-----

**From:** "Sherrie Ringstad" <[sherrier@cityofmillcreek.com](mailto:sherrier@cityofmillcreek.com)>  
**Sent:** Friday, March 16, 2018 12:07pm  
**To:** "Beverly Tiedje" <[bstiedje@earthlink.net](mailto:bstiedje@earthlink.net)>, "Dave Gunter" <[dave@apexmediaseattle.com](mailto:dave@apexmediaseattle.com)>, "David Hambelton" <[davidhambelton@aol.com](mailto:davidhambelton@aol.com)>, "Diane Symms" <[dianes@lombardisitalian.com](mailto:dianes@lombardisitalian.com)>, "Tina Hastings" <[Tina.Hastings@ch2m.com](mailto:Tina.Hastings@ch2m.com)>  
**Cc:** "Tom Rogers" <[tomr@cityofmillcreek.com](mailto:tomr@cityofmillcreek.com)>  
**Subject:** FW: Interpretation of building design elements/graphics

Good Morning,  
Tom asked me to forward the following email to you.

Good morning!

Thank you for your service to the City. Your hard work and commitment make a positive impact on the appearance and character of the City.

This morning, Sherrie Ringstad, Associate Planner, briefed me about a conversation that took place at last night's meeting regarding architectural elements/graphics that express the use taking place within the building. My understanding is that there is some concern/uncertainty that such architectural elements may be considered signage and subject to regulatory restrictions as to maximum size. This email is to hopefully provide direction as to how the City has interpreted such elements in the past and the basis for said interpretation.

Provided below are the applicable sections on the Mill Creek Municipal Code (MCMC). Highlighting is provided to provide emphasis.

**Definition of "Sign" from MCMC 14.01**

"Sign" means any structure, graphic display or medium, including merchandise, its structure and component parts, that is used or intended to be used to attract attention to the subject matter for advertising purposes. Signs do not include sculptures, wall paintings, murals, collages, and other design features determined to be public art by the city.

**Excerpt from MCMC 17.34.040**

B. Commercial and Business Park/Industrial Building Design. Building design should provide a sense of permanence and timelessness. The following design elements shall be applied to commercial, business park/industrial buildings.

1. Design and Materials.

a. No single architectural style is required. However, reliance on or use of standardized 'corporate' or 'franchise' style for commercial and business park/industrial buildings is strongly discouraged.

b. Buildings should reflect an individual design that has considered site location, conditions, and surrounding development. Materials used shall complement and express individual building design.

c. A consistent visual identity shall be applied to all sides of buildings visible to the general public. In these areas, all building sides shall have an equivalent level of quality of materials, detailing, and window placement. Abrupt ending of architectural details shall be avoided with no radical change in details, features, or materials.

d. Primary building entrances shall be pedestrian in scale and shall be clearly identifiable and visible from the street and nearby pedestrian routes and shall be marked by four or more of the following architectural elements:



i. Recess;

ii. Overhang;

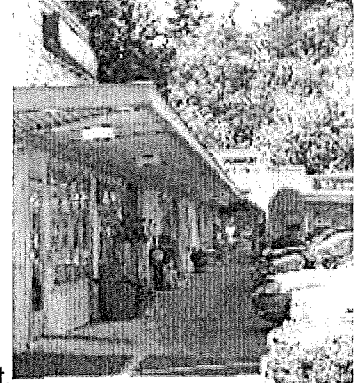
iii. Canopy;

iv. Portico;

v. Porch;

- vi. Sidelights flanking door;
- vii. Ornamental lighting fixtures;
- viii. Large, textured entry door(s);
- ix. Special paving, stone, masonry or patterned tile paving in entry;
- x. Ornamental building name or address;
- xi. Pots or planter boxes;
- xii. Fixed seating;
- xiii. Artwork;
- xiv. Water feature;
- xv. Ornamental gate or fence;
- xvi. Open space plaza or courtyard.

e. Canopies or awnings shall be provided along pedestrian streets and storefronts. The minimum depth of any canopy or awning shall be six feet unless limited by the building code. The vertical dimension between the



underside of a canopy or awning and the sidewalk shall be at least eight feet.

f. Illumination within or below the awning shall be allowed only if the awning material is opaque.

g. Building design shall incorporate traditional building materials such as masonry, stone, stucco, heavy timbers, brick, and other natural appearing materials.

h. Building colors should accent, blend with, or complement surroundings. Bright or brilliant colors should be reserved for trim and accents.

i. Materials used for site features such as fences, screen walls, and signs should complement building design through materials, color, shape, and size.

j. Modulation (defined as a measured setback or offset in a building face) shall be incorporated to reduce overall bulk and mass of buildings. The planes of exterior walls should not run in one continuous direction more than 50 feet without an offset or setback.

k. Blank walls on buildings and parking structures are to be avoided. Positive methods to achieve this objective include changes in colors and materials, placement of windows, use of awnings and canopies, and architectural details and features such as corners, setbacks and offsets. Examples of details include:

- i. Masonry;
- ii. Concrete or masonry plinth at wall base;
- iii. Belt courses of a different texture and color;
- iv. Projecting cornice;
- v. Projecting metal canopy;
- vi. Decorative tile accents;
- vii. Trellis with plant material;
- viii. Medallions;
- ix. Opaque or translucent glass windows;
- x. Artwork;
- xi. Vertical articulation, such as pilasters or columns;
- xii. Decorative light fixtures;
- xiii. Recesses;
- xiv. Windows;
- xv. Secondary entrances;
- xvi. Balconies;
- xvii. Awnings.

**Are the graphics/blocks on the entrance columns a sign?**

It has been the City's position that graphic elements such as what will be proposed on The Learning Experience entrance are not signs. In staff's opinion, the intent of the blocks on the front

entrance columns is not for advertising purposes, but to provide a clearly identified main entrance that is interesting to their clients, young children. The blocks on the columns, given their distance from the road and the presence on the roadway buffer, will not by themselves, attract attention from the highway. The proposed wall sign, which is reviewed by staff, serves the purpose of identifying the business name and serve an advertising purpose.

**Are the graphics/blocks on the entrance columns subject to DRB review?**

The answer to this question is yes. The proposed blocks on the entrance columns are part of the building elevations and are subject to the Design Review Board finding that the project is consistent with the design objectives in MCMC 17.34. Staff's opinion is that the proposed blocks on the entrance columns are consistent with the building design objectives highlighted above. Staff supports and encourages such treatment to the building elevations. There are many examples of building architectural treatments in Mill Creek being complimentary to the business name or use. Some of these are: Light House Storage, Arena Sports, and Kinder Care School/Childcare. Graphic film on windows is also used on many businesses in the City.

I hope that the above information helps the Design Review Board in their review of projects going forward.



**Tom Rogers, AICP**  
Planning Manager  
City of Mill Creek  
[tomr@cityofmillcreek.com](mailto:tomr@cityofmillcreek.com)  
P: 425-9215721 | F: 425-745-9650  
[Facebook](#) | [Twitter](#) | [Instagram](#)

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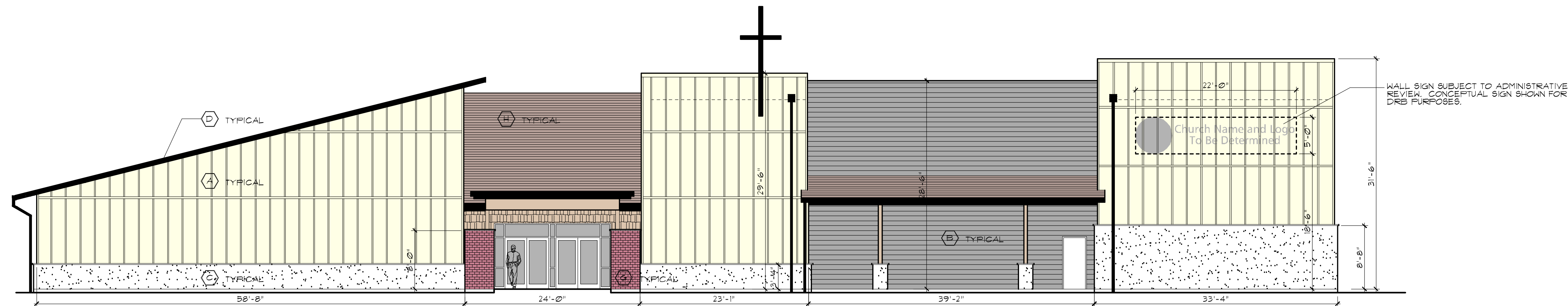
DRB Narrative

Canyon Creek Church

The objective of the project is to provide a warm and welcoming approach with a simple palette of materials. The goal of the overall aesthetic is to be in accord with the mission of the church with a look and feel that is appealing to the target demographic of the membership.

The site is currently, and will remain, relatively isolated. The land to the south is City open space and there is significant landscape buffering to the north and west where fully developed residential uses are found.





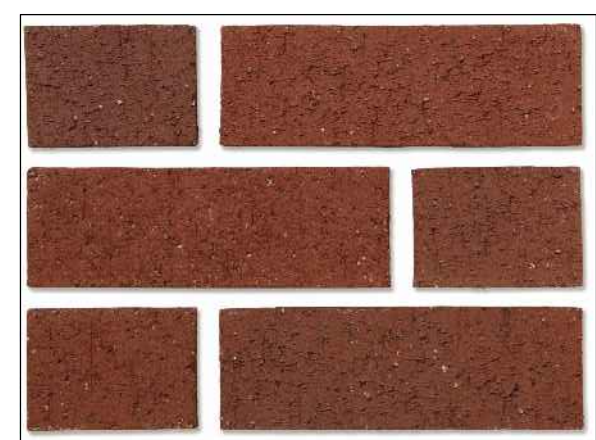
**EAST ELEVATION**

1/8" = 1'-0"

- MATERIAL A**  
 PANEL SIDING WITH BATTENS AT 24" O.C. -  
 COLOR 1 - BENJAMIN MOORE "OC-8, MARITIME WHITE"
- MATERIAL B**  
 HORIZONTAL BEVEL SIDING WITH 8" EXPOSURE -  
 COLOR 2 - BENJAMIN MOORE #121-10, GRAY
- MATERIAL C**  
 EXPOSED SITE-FORMED CONCRETE  
 NATURAL CONCRETE WITH MATTIE FINISH SEALER - GRAY
- MATERIAL D**  
 WOOD FASCIA, GUTTERS, DOWNSPOUTS, CROSS, TRIM, ETC.  
 COLOR 3 - BLACK
- MATERIAL E**  
 CEDAR SHINGLES  
 COLOR 3 - LIGHT NATURAL STAIN / SEALER



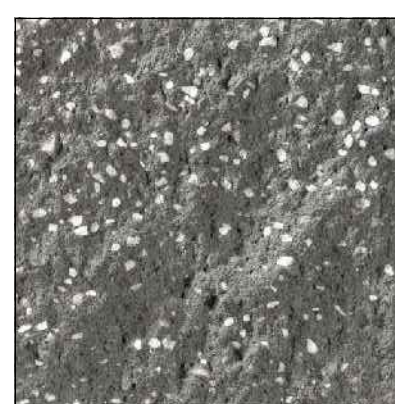
- MATERIAL F**  
 STOREFRONT DOOR AND WINDOW FRAMES  
 DARK BRONZE ANODIZED / BLACK



- MATERIAL G**  
 BRICK - (ENTRY COLUMNS, SIMILAR MATERIAL AT SAND BET PAVERS)  
 MUTUAL MATERIALS "INCA BLEND"



- MATERIAL H**  
 ROOFING  
 CERTAINTED LANDMARK SERIES, "BLACK WALNUT"

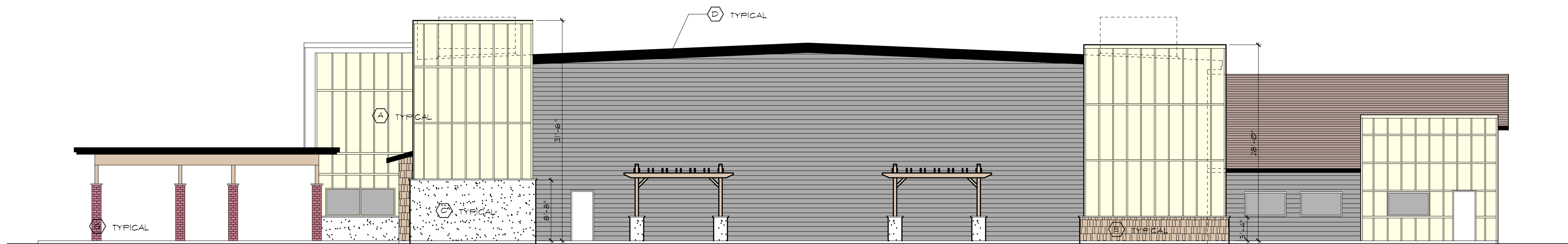


- MATERIAL J**  
 SPLIT-FACED CONCRETE MASONRY UNITS (CMU) (SITE SCREEN WALLS)  
 MUTUAL MATERIALS "CHARCOAL"

NOTE: SEE PHYSICAL SAMPLE BOARD FOR TRUE COLORS

**MATERIAL LEGEND**

N.T.S.



**NORTH ELEVATION**

1/8" = 1'-0"



**WEST ELEVATION**

1/8" = 1'-0"



**SOUTH ELEVATION**

1/8" = 1'-0"

Construction Drawings for:

**CANYON CREEK CHURCH**

14616 35th Ave. S.E.  
 Mill Creek, WA 98012

No./Date Revision By  
 Date

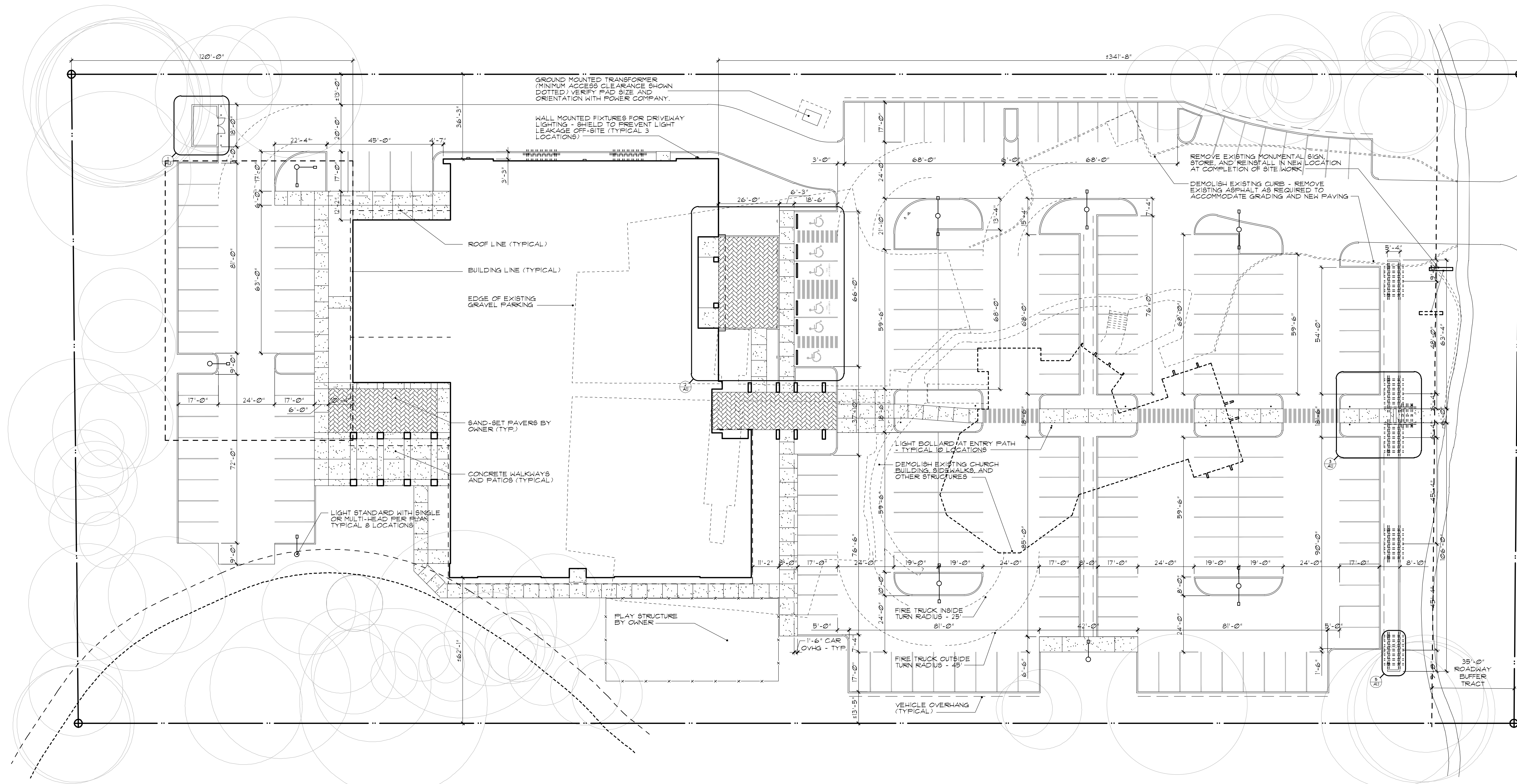
Drawn By  
 Checked By  
 Project Number  
 File Number

**EXTERIOR ELEVATIONS**

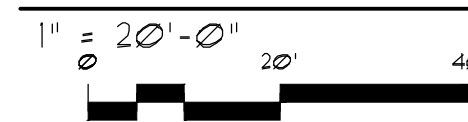
Sheet Title

**DRB3**

Sheet Number



SITE PLAN



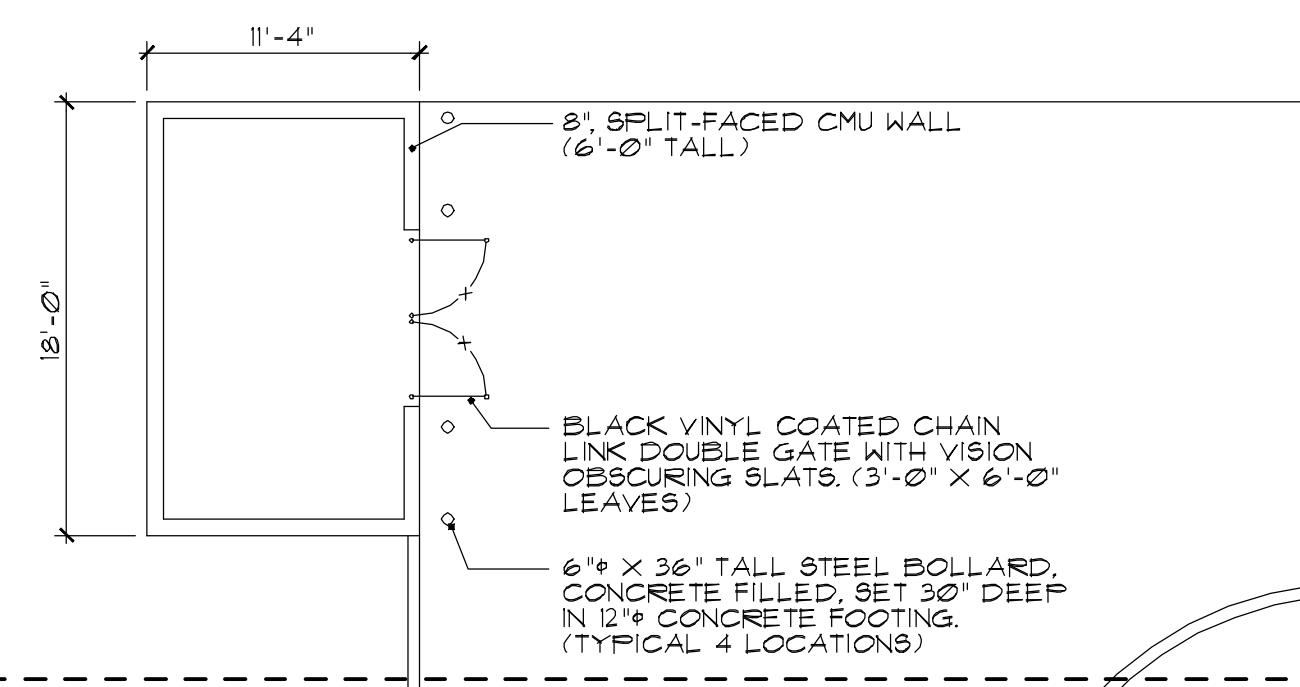
ENTRY PATIO AND FOYER FURNISHINGS OR SIMILAR

N.T.S.



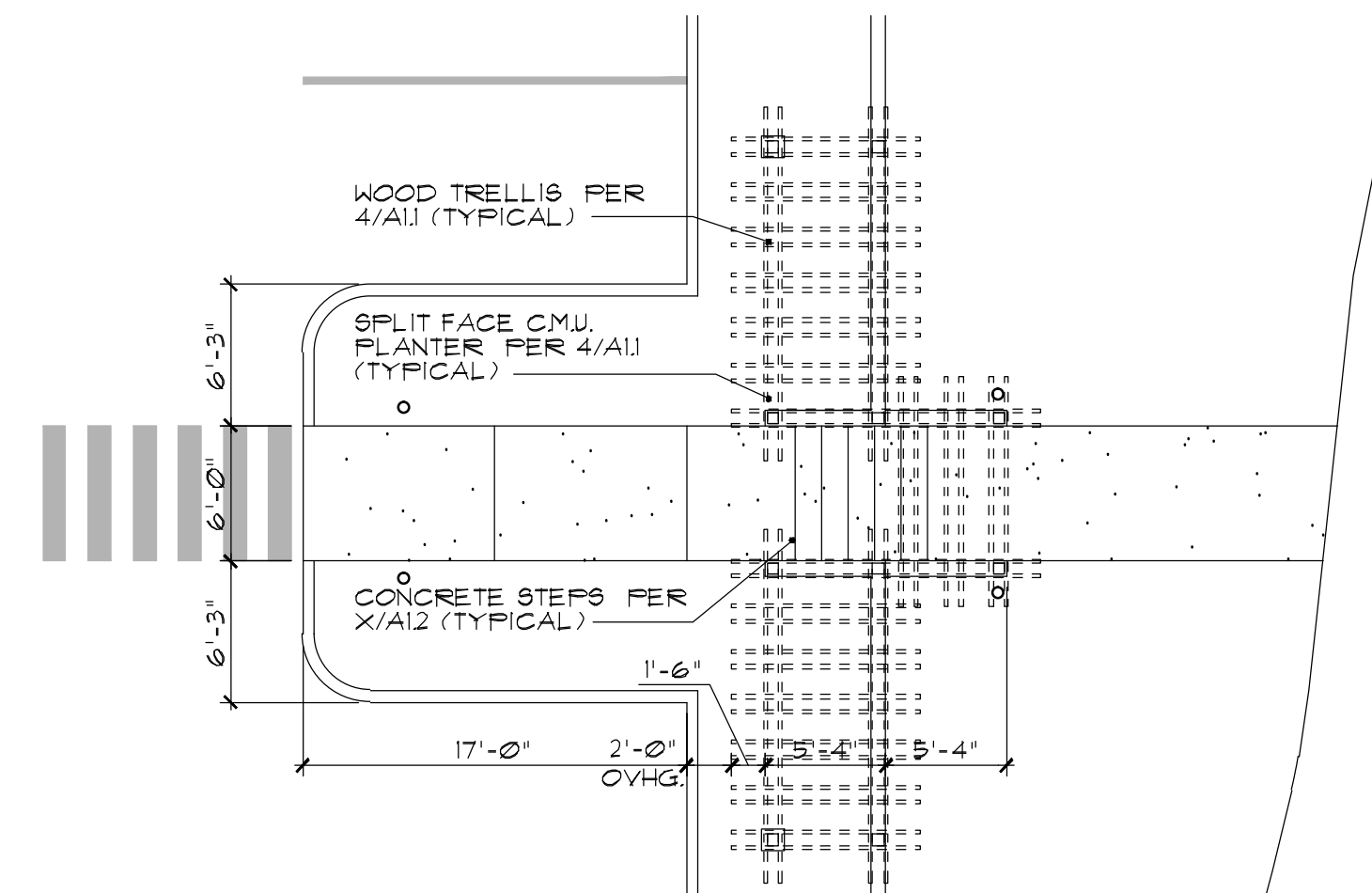
EXISTING MONUMENTAL SIGN TO BE RELOCATED

N.T.S.



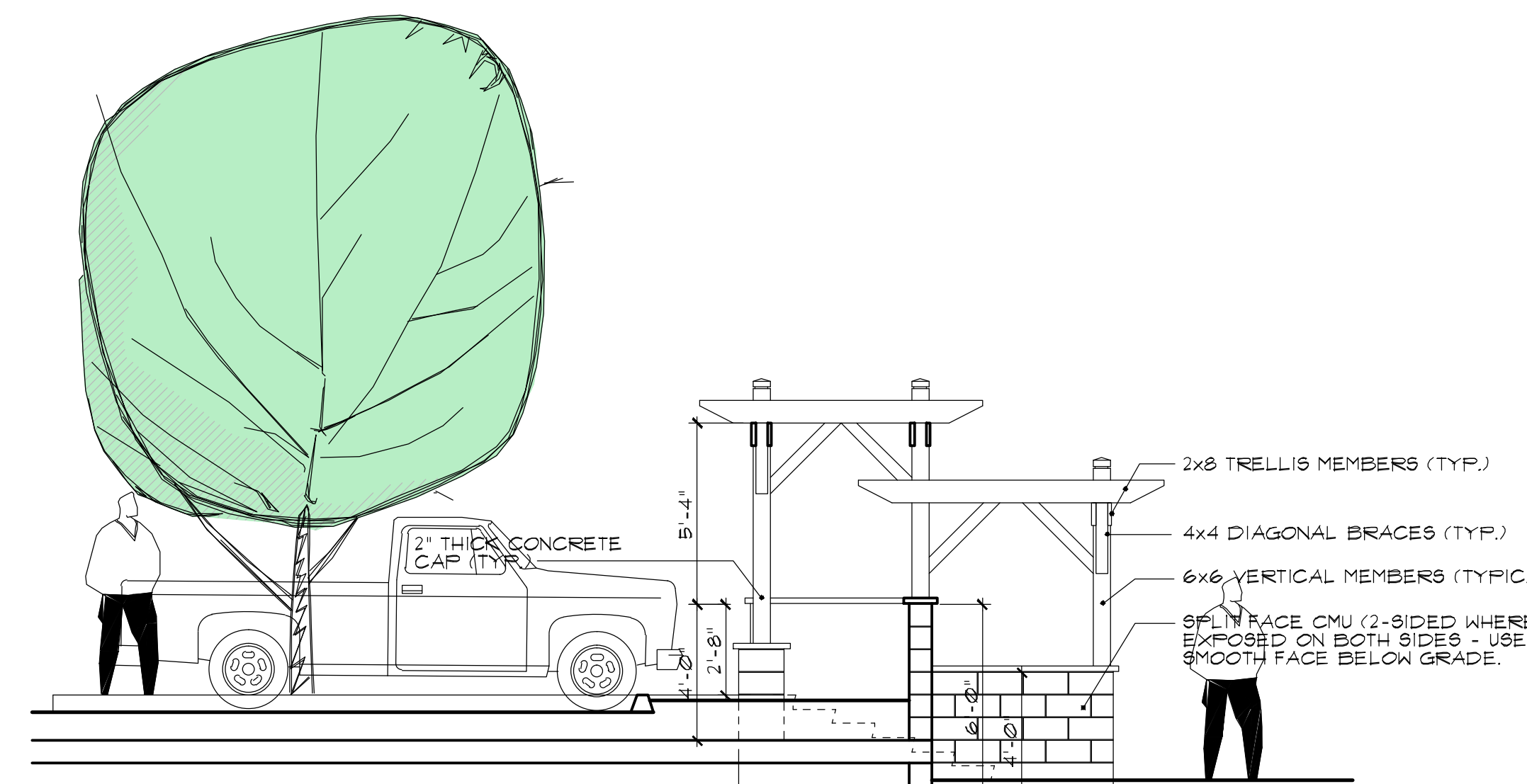
1 SITE DETAIL - GARBAGE ENCLOSURE

A11 1/8" = 1'-0"



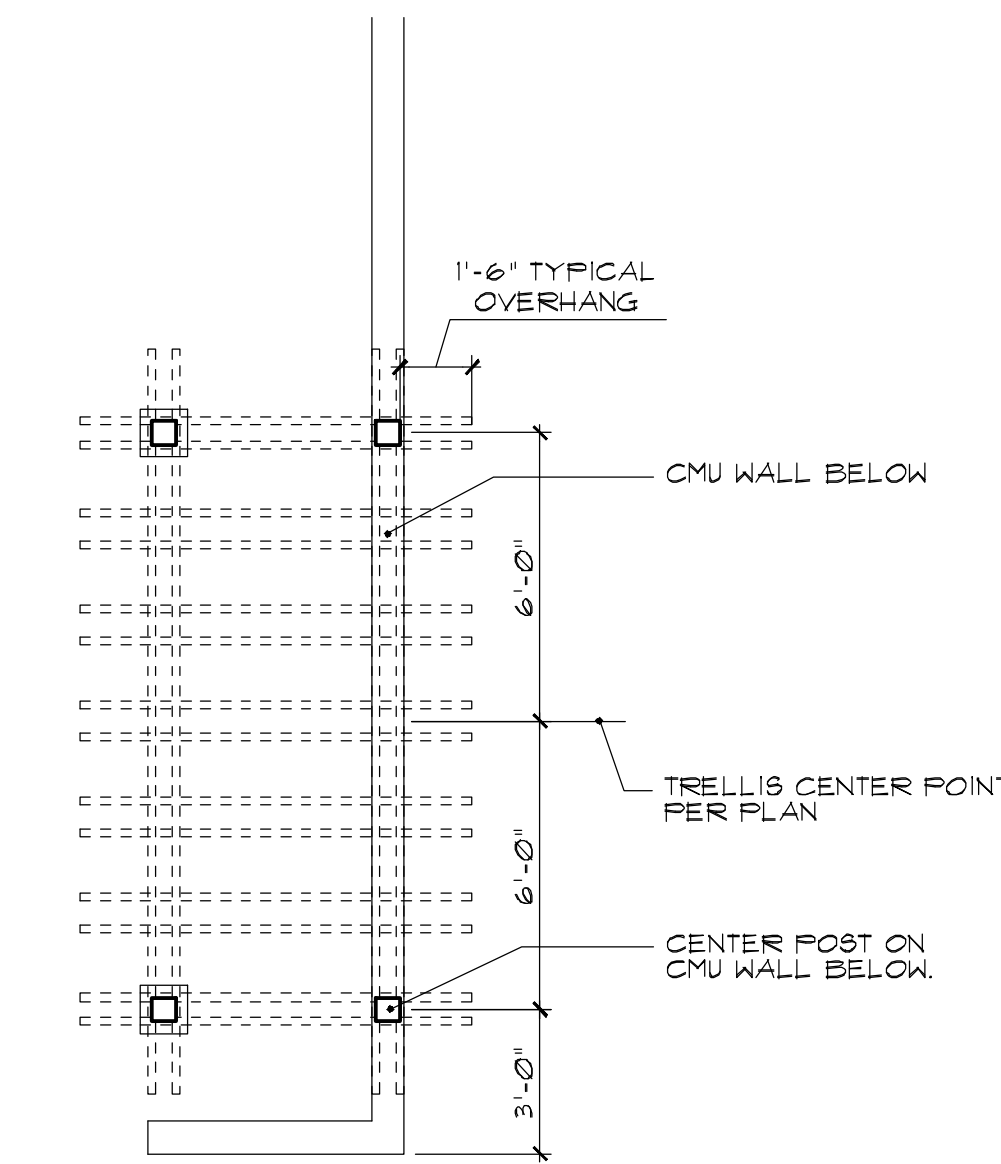
3 SITE DETAIL - ENTRY STAIR

A11 1/8" = 1'-0"



4 PLANTER / TRELLIS DETAIL

A11 1/4" = 1'-0"



5 TRELLIS PLAN

A11 1/4" = 1'-0"



**DLC ARCHITECTS**  
 710 N. 13TH ST  
 Shoreline, WA 98133  
 206-918-8066

Construction Drawings for:

**CANYON CREEK CHURCH**

14616 35th Ave. S.E.  
 Mill Creek, WA 98012

No./Date	Revision	By

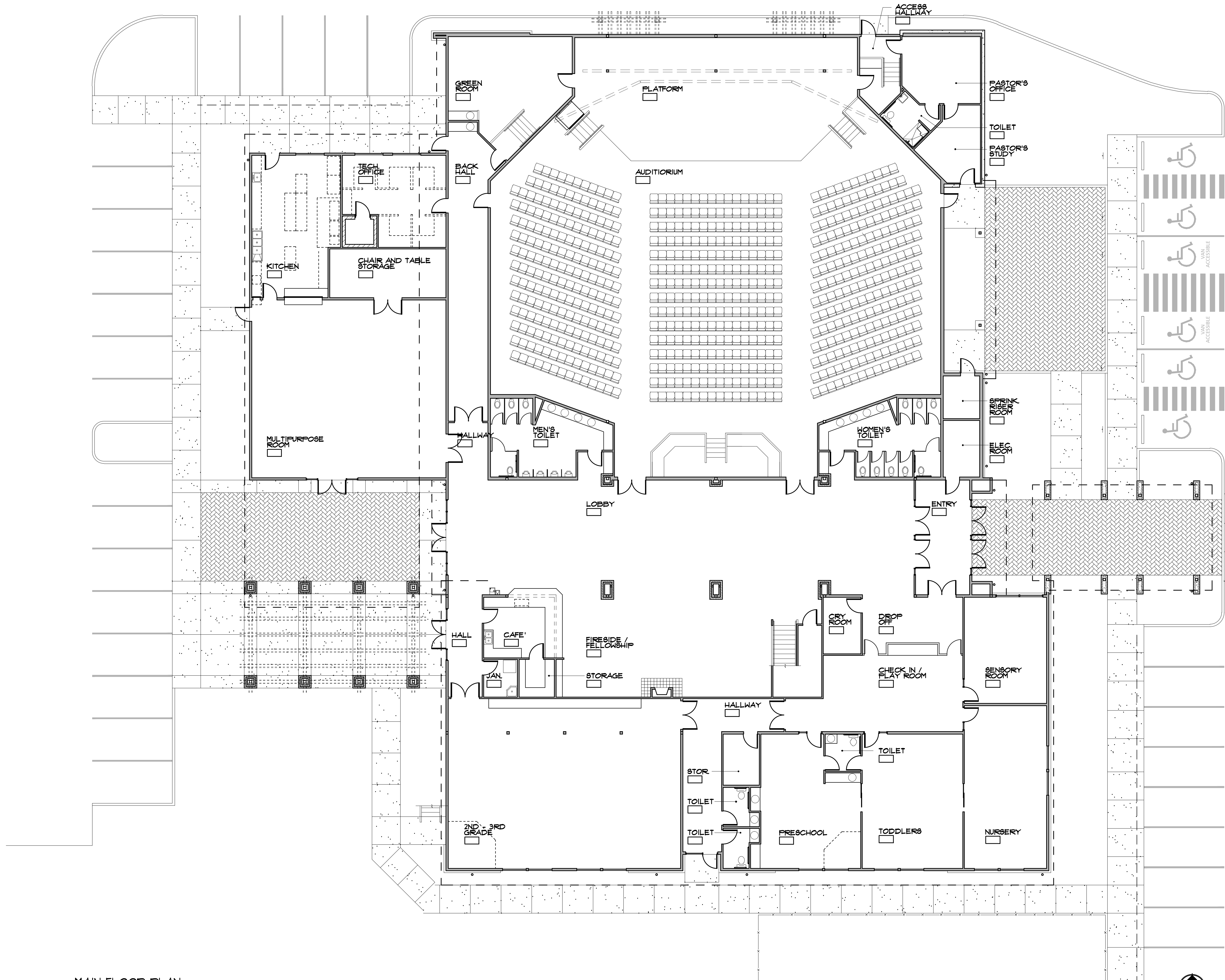
Drawn By  
 Checked By  
 Project Number  
 File Number

SITE PLAN  
 SITE DETAILS

Sheet Title

**DRB1**

Sheet Number



Construction Drawings for:

**CANYON CREEK CHURCH**

14616 35th Ave. S.E.  
 Mill Creek, WA 98012

No./Date	Revision	By

	Drawn By
	Checked By
	Project Number
	File Number

**MAIN FLOOR PLAN**

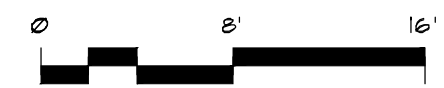
Sheet Title

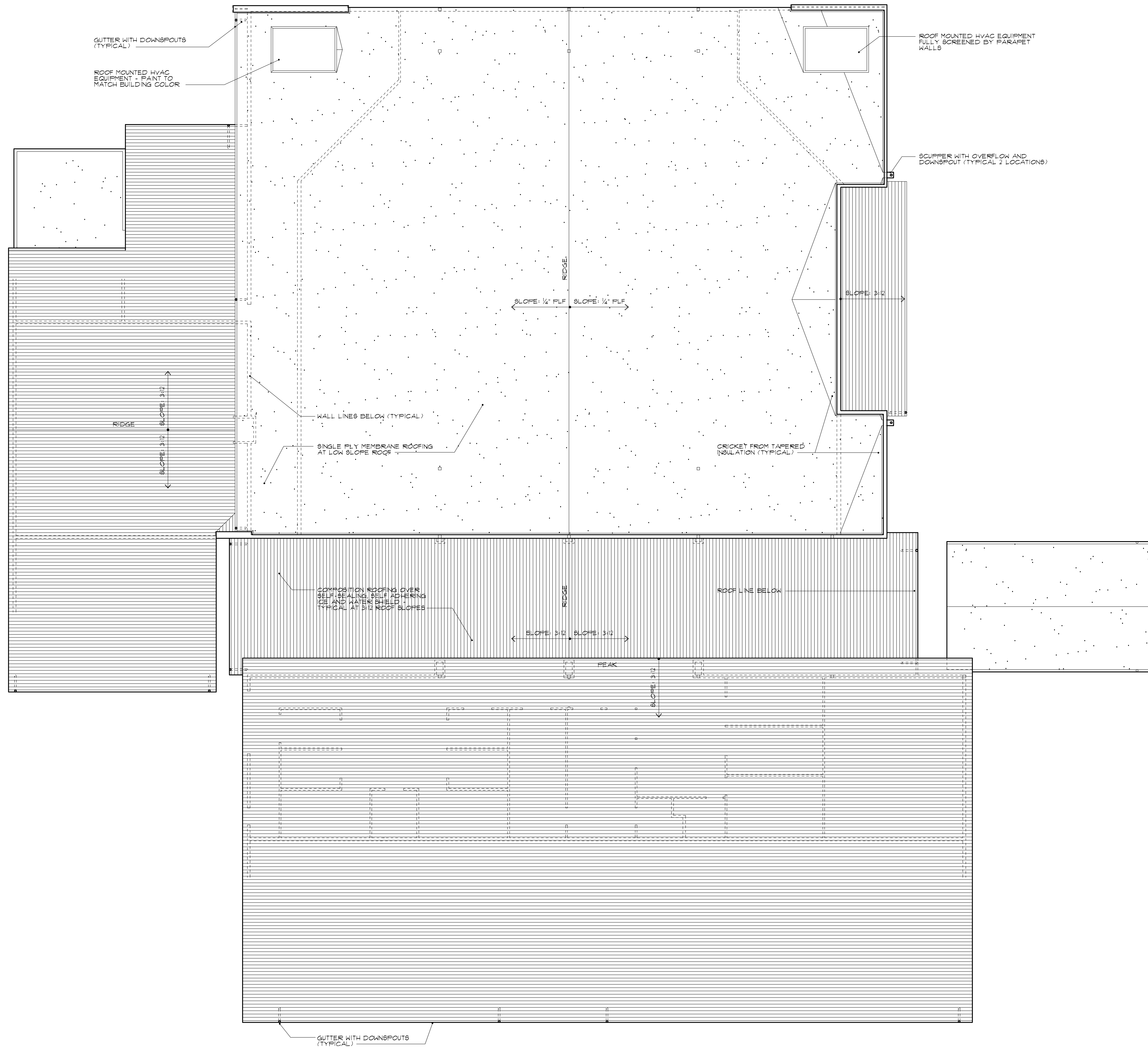
**DRB2**

Sheet Number

**MAIN FLOOR PLAN**

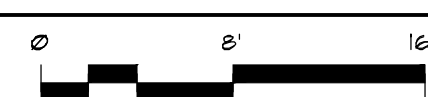
1/8" = 1'-0"





**ROOF PLAN**

1/8" = 1'-0"



Construction Drawings for:

**CANYON CREEK CHURCH**

14616 35th Ave. S.E.  
 Mill Creek, WA 98012

No./Date	Revision	By

Drawn By	
Checked By	
Project Number	
File Number	

**ROOF PLAN**

Sheet Title

**DRB4**

Sheet Number



**LEGEND**

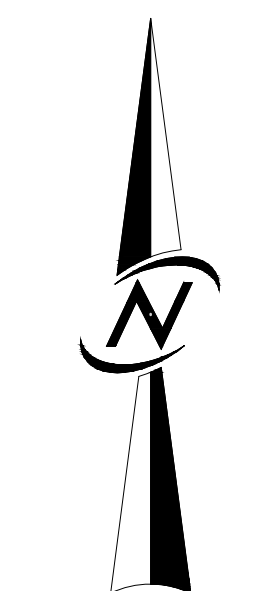
-  EXISTING TREE TO BE REMOVED
-  EXISTING TREE TO BE RETAINED
-  OFF-SITE TREE

**TREE RETENTION**

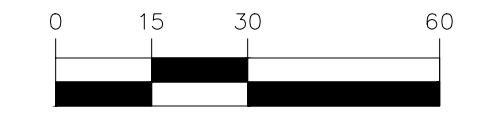
TOTAL ON-SITE TREES:	269 (100%)
PROPOSED TREES TO BE REMOVED:	213 (79.2%)
PROPOSED TREES TO BE RETAINED:	56 (20.8%)

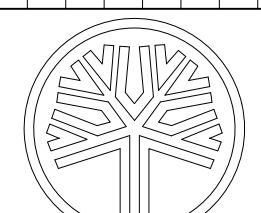

**TREE RETENTION NOTES**

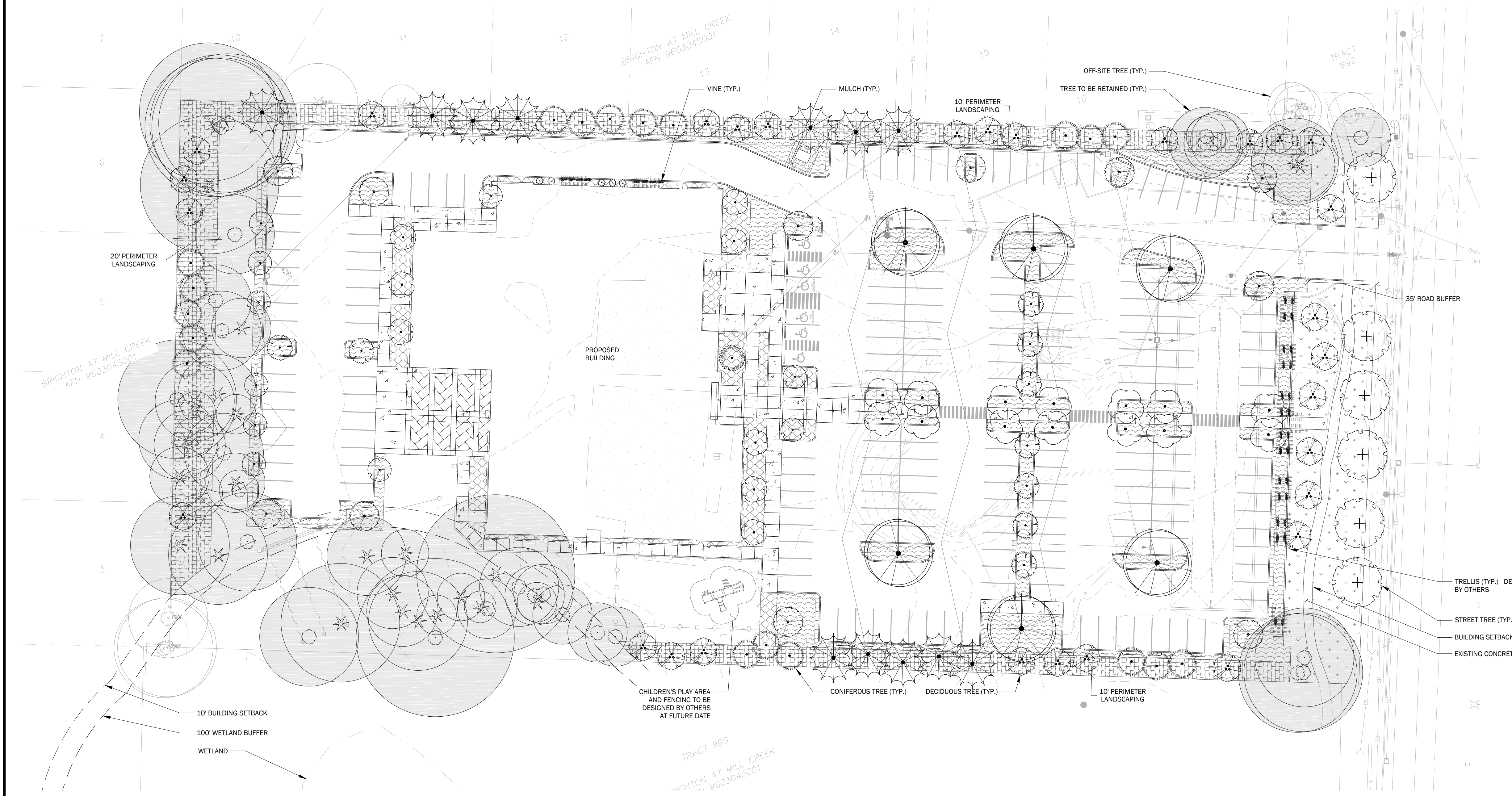
1. PRELIMINARY TREE RETENTION PLAN IS CONCEPTUAL IN NATURE, AND NOT TO BE USED FOR CONSTRUCTION.
2. ARBORIST TO DETERMINE ADDITIONAL DEAD OR UNHEALTHY TREES TO BE REMOVED AT LATER DATE.
3. TREES WHERE DISTURBANCE IS PROPOSED WITHIN DRIP LINES WILL HAVE ARBORIST PRESENT ONSITE DURING GRADING AND CONSTRUCTION TO REDUCE IMPACTS AND PROVIDE ANY NECESSARY MITIGATION MEASURES TO SAVE PROPOSED RETAINED TREES, AS WELL AS ANY ADDITIONAL VIABLE TREES WHEN POSSIBLE.



SCALE: 1" = 30'



NO. _____ REVISIONS _____ DATE _____	 STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT
LINDSEY BENNETT SOLORIO CERTIFICATE NO. 1351 04/17/2018	
14711 NE 29th Place Suite 101 Bellevue, Washington 98007 425.885.7877 Fax 425.885.7963	
 CORE DESIGN ENGINEERING • PLANNING • SURVEYING	
<b>TREE RETENTION PLAN</b> <b>CANYON CREEK CHURCH</b> <b>CANYON CREEK CHURCH</b> 14616 35TH AVE SE MILL CREEK, WA 98012	
DATE: MARCH 2018 DESIGNED: CAROLYN E. MULNIX DRAWN: CAROLYN E. MULNIX APPROVED: LINDSEY B. SOLORIO, P.L.A. DAVID E. CAYTON, P.E. PROJECT MANAGER	SHEET OF <b>L1.01 5</b> PROJECT NUMBER <b>17046</b>



**LEGEND**

- GENERAL LANDSCAPING
- PARKING LANDSCAPING
- PERIMETER LANDSCAPING
- ROAD BUFFER LANDSCAPING

**TREE CALCULATIONS**

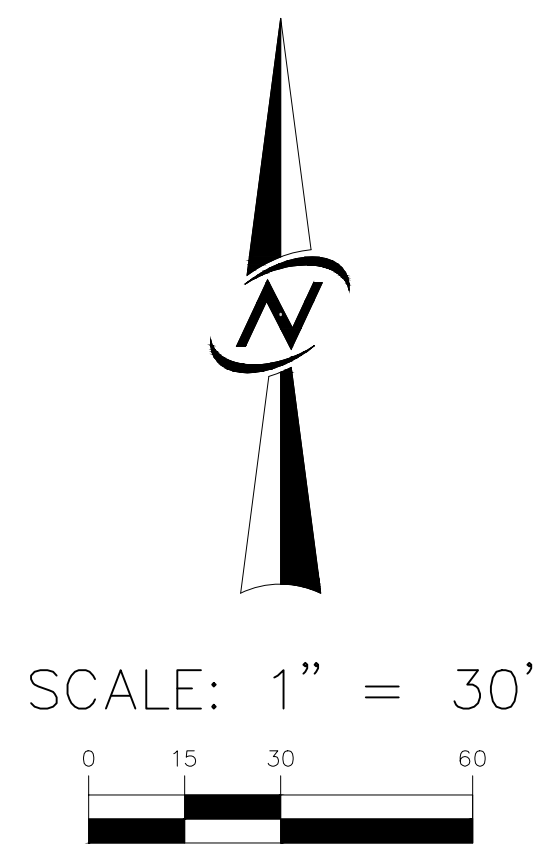
TOTAL PARKING SPACES PROPOSED:	204
TREES REQUIRED (1 PER 4 SPACES):	51 (204 / 4 = 51)
TREES PROPOSED:	54

**PROJECT NOTES**

1. ALL STREET TREES TO BE PLANTED A MINIMUM DISTANCE OF:
  - 30' FROM INTERSECTIONS
  - 15' FROM POWER POLES AND STREET LIGHTS
  - 5' FROM UNDERGROUND UTILITIES AND DRIVEWAYS
2. ROOT BARRIER TO BE INSTALLED TO TREES LOCATED 5' OR LESS TO UTILITIES.
3. STREET TREES TO BE LIMBED UP TO 8' ABOVE SIDEWALKS, AND 14' ABOVE ROADWAYS.
4. ALL PARKING LOT TREES AND SHRUBS SHALL BE MAINTAINED TO PRESERVE A CLEAR ZONE BETWEEN 3' AND 8'.


















**GENERAL LANDSCAPE NOTES**

1. THE LANDSCAPE CONTRACTOR MUST BE LICENSED AND OR BONDED. CONTRACTOR MUST BE EXPERIENCED IN LANDSCAPE WORK OF THE BEST TRADE PRACTICES AND HAVE THE NECESSARY EQUIPMENT AND PERSONNEL TO PERFORM WORK.
2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HER/HIMSELF WITH THE SITE, ALL OTHER SITE IMPROVEMENTS, LIMITS OF WORK AND EASEMENTS PRIOR TO THE START OF LANDSCAPE WORK.
3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND PROTECTION OF ALL EXISTING AND PROPOSED UTILITIES. THE LANDSCAPE CONTRACTOR SHALL FIELD VERIFY AND USE CAUTION WHILE EXCAVATING IN ORDER TO AVOID DISTURBING ANY UTILITIES. THE LANDSCAPE CONTRACTOR WILL PROMPTLY NOTIFY THE GENERAL CONTRACTOR AND OWNER OF ANY CONFLICTS. IN THE EVENT OBSTRUCTIONS ARE ENCOUNTERED DURING PLANTING ACTIVITIES, ALTERNATIVE LOCATIONS MAY BE SELECTED BY THE OWNER'S REPRESENTATIVE. LANDSCAPE MATERIALS SHALL BE LOCATED AS TO NOT OBSTRUCT VISUAL OR PHYSICAL ACCESS TO FIRE HYDRANTS. LOCATE ALL LANDSCAPE MATERIALS IN CONFORMANCE WITH UTILITY COMPANY AT TRANSFORMERS, METERS, OVERHEAD LINES, ETC.
4. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK RELATED TO OTHER TRADES AS REQUIRED TO ENSURE ORDERLY AND EFFICIENT COMPLETION OF WORK.
5. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL PLANTS OF THE CORRECT SIZE, SPECIES VARIETY, QUANTITY AND QUALITY AS SPECIFIED ON PLANT SCHEDULE AND SYMBOLS ON LANDSCAPE PLAN. IF UNAVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY AND PROVIDE THE NAMES AND TELEPHONE NUMBERS OF THREE NURSERY SUPPLIERS OR PLANT BROKERS THAT HAVE BEEN CONTACTED. SUBSTITUTIONS SHALL ONLY BE MADE UPON THE APPROVAL OF THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
6. ALL PLANT MATERIAL SHALL BE INSPECTED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANSI) 60.1.
7. THE LANDSCAPE CONTRACTOR SHALL DELIVER, MAINTAIN AND WATER PLANT MATERIAL UNTIL OWNERS FINAL ACCEPTANCE IS RECEIVED.
8. THE LANDSCAPE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL PROPERTY, INCLUDING PAVEMENT, WALKWAYS, CURBS, FENCING, STRUCTURES, ETC. DURING CONSTRUCTION.
9. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING INFORMED OF ALL EXISTING CODES, LAWS AND ORDINANCES RELATING TO THE WORK REQUIRED ON SITE, AND SHALL COMPLY ACCORDINGLY.
10. THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR TO ASSURE PROPER SUBGRADES ARE MET. THESE INCLUDE 11" BELOW FINISHED GRADE FOR PLANTING BEDS AND 9" BELOW FINISHED GRADE IN LAWN AREAS.
11. THE LANDSCAPE CONTRACTOR SHALL SUBMIT THREE REPRESENTATIVE SOIL SAMPLES TO THE OWNER'S REPRESENTATIVE FOR TESTING BY AN APPROVED SOIL TESTING LABORATORY. AMENDMENTS SHALL BE ADDED TO THE SOIL MIX AS RECOMMENDED BY SOIL TESTING LAB.
12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING PLANTING BEDS AND LAWN AREAS TO FINISHED GRADE USING APPROVED TOPSOIL. TOPSOIL DEPTH SHALL BE A MINIMUM OF 8" IN PLANTING BEDS AND 8" IN SODDED LAWN AREAS. TOPSOIL SHALL BE PACIFIC TOPSOIL THREE-WAY MIX OR SIMILAR AND SHALL HAVE A PH RANGE OF 5.0 TO 6.5. TOPSOIL SHALL BE ROTOTILLED A MINIMUM OF 4" INTO EXISTING SOIL LAYER 12" TOTAL.
13. THE LANDSCAPE CONTRACTOR SHALL RAKE PREPARED AREAS AND REMOVE ANY ROCK OR DEBRIS OVER 1". ALL LAWN AREAS SHALL BE ROLLED TO PROVIDE A FIRM, SMOOTH SURFACE FREE OF DIVOTS OR MOUNDS. THE LANDSCAPE CONTRACTOR SHALL REMOVE ANY NOXIOUS WEEDS AND OTHER PLANT MATERIAL NOT SHOWN IN LANDSCAPE PLAN.
14. THE LANDSCAPE CONTRACTOR SHALL SET FINISHED GRADES BELOW EDGE OF HARDSCAPE ELEMENTS PRIOR TO MULCH AND/OR SOD INSTALLATION. GRADES SHALL BE SET 3" BELOW ADJACENT HARDSCAPE SURFACES FOR PLANTING BEDS AND 1" BELOW FOR LAWN AREAS.
15. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM 2" DEEP LAYER OF MULCH IN ALL PLANTING BEDS.
16. MULCH SHALL BE 100% NATURAL FIR OR HEMLOCK, FINE GROUND, OF UNIFORM COLOR, FREE FROM DYES, WEED SEEDS, SAWDUST & SCRAP LUMBER FIBER, TRASH, INORGANIC MATERIAL OR ANY OTHER COMPOUND DETRIMENTAL TO PLANT GROWTH.
17. FERTILIZER SHALL BE A COMPLETE, BALANCED COMMERCIAL BRAND WITH COMPLETE CHEMICAL ANALYSIS SHOWN ON AN UNOPENED CONTAINER WHEN DELIVERED. FERTILIZER SHALL BE APPLIED AT RATES CONSISTENT WITH THE MANUFACTURER'S RECOMMENDATIONS AND SOIL TESTING LAB'S RECOMMENDATIONS.
18. WORK AREAS TO BE KEPT NEAT AND ORDERLY AND FREE OF DEBRIS AND RUBBISH AT ALL TIMES DURING PROGRESS OF WORK. RAKE BEDS NEATLY TO AN EVEN FINE GRADE AROUND ALL PLANTS. ALL PAVED AREAS ARE TO BE CLEANED BY BROOM AND/OR WASHED AFTER EACH DAY'S WORK OR MORE FREQUENTLY AS REQUIRED. ALL PLANTING AREAS AND ADJACENT PAVED AREAS SHALL BE LEFT IN A NEAT AND CLEAN CONDITION UPON COMPLETION OF JOB.
19. IF A DISCREPANCY EXISTS BETWEEN THE PLANT QUANTITIES ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN THE QUANTITIES ON THE PLAN SHALL GOVERN.
20. PROPOSALS FOR PLANT SUBSTITUTIONS, LOCATION ADJUSTMENTS, SOIL AMENDMENTS OR ANY VARIATIONS FROM THE APPROVED PLANS SHALL REQUIRE PRIOR APPROVAL BY THE CITY OF MILL CREEK.
21. SOILS LOCATED IN PLANTING AREAS THAT HAVE BEEN COMPACTED TO A DENSITY GREATER THAN THAT PENETRABLE WITH A HAND SHOVEL APPROX. 85% SHALL BE LOOSENEED TO INCREASE AERATION FOR A MINIMUM DEPTH OF 18 INCHES FOR THE ENTIRE AREA OF THE COMPACTED SOILS UTILIZED FOR LANDSCAPE PURPOSES. IMPORTED TOPSOIL SHALL BE INCORPORATED INTO LOOSENEED SUB GRADE TO A MINIMUM DEPTH OF 6". VERIFICATION OF THE NEED FOR ADDITIONAL SOIL AMENDMENTS WILL BE MADE AT THIS TIME. RECOMMENDED AMENDMENTS SHALL BE APPLIED PRIOR TO PLANTING.
22. DRAINAGE: CONTRACTOR SHALL NOTIFY THE OWNER OF ANY LOW POINTS OR FORESEEN POOR DRAINAGE AREAS EXISTING ON-SITE AND PROVIDE CORRECTIVE DRAINAGE PLANS PRIOR TO COMMENCING LANDSCAPE WORK. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE IN ALL FINISHED LANDSCAPE AREAS THAT ARE PART OF THIS SCOPE OF WORK. ALL POSITIVE DRAINAGE FROM LANDSCAPE AREAS SHALL BE DISCHARGED APPROPRIATELY AND SHALL NOT CREATE DRAINAGE PROBLEMS OFF-SITE OR IN OTHER AREAS OF THE PROJECT. FINISHED LANDSCAPE AREAS WITH PONDING WATER OR OTHER POOR DRAINAGE CONDITIONS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
23. OWNER SHALL APPROVE PLANT MATERIAL & PLANTING BED LOCATION PRIOR TO INSTALLATION. ALLOW 24 HOURS MINIMUM NOTIFICATION FOR INSPECTION REQUEST. PLANT MATERIAL THAT HAS BEEN APPROVED FOR INSTALLATION SHALL BE PLANTED WITHIN 24 HOURS. INSTALLATION SHALL NOT BE CONDUCTED UNDER ADVERSE WEATHER CONDITIONS WITHOUT PRIOR APPROVAL OF THE RESPONSIBLE OFFICIAL. PLANT MATERIAL THAT CANNOT BE PLANTED WITHIN ONE DAY FOLLOWING ARRIVAL SHALL BE HELED-IN, KEPT MOIST AND PROTECTED AT ALL TIMES FROM EXTREME WEATHER CONDITIONS. PLANTS SHALL BE STORED AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
24. TREE PITS SHALL BE A MINIMUM OF TWO TIMES THE DIAMETER OF THE TREE'S ROOT MASS. ADDITIONAL AERATION MAY BE REQUIRED AS DIRECTED BY THE RESPONSIBLE OFFICIAL. ADD WATER TUBES TO THE TREE PLANTINGS IN PAVED AREAS.
25. STREET TREES SHALL BE SYMMETRICAL AND UNIFORM IN APPEARANCE, SIZE AND STRUCTURE.
26. STREET TREE AND SHRUB INSTALLATIONS SHALL CONFORM TO THE FOLLOWING GENERAL GUIDELINES:
  - A. TREES SHALL NOT BE PLANTED IN LOCATIONS THAT COULD LEAD TO ROOTS DAMAGING SIDEWALKS OR CURBING, OR IN ANY OTHER LOCATION THAT MAY CAUSE A SAFETY CONCERN.
27. PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS. PLANT MATERIAL THAT HAS LOST MORE THAN 30 PERCENT OF ITS NORMAL FOLIAGE SHALL BE REPLACED AT CONTRACTOR'S EXPENSE AS DIRECTED BY THE RESPONSIBLE OFFICIAL.
28. ALL TREE STAKES TO BE REMOVED AFTER A PERIOD OF TWO YEARS.
29. ALL SLOPES STEEPER THAN 3:1 SHALL BE PROTECTED WITH EROSION CONTROL FABRIC INSTALLED PER MANUFACTURER'S SPECIFICATIONS OR OTHER APPROVED EROSION CONTROL METHOD.
30. ALL SOIL IN LANDSCAPED AREAS SHALL BE AMENDED PER COMPLIANCE WITH THE CITY OF MILL CREEK STANDARDS.
31. ALL EQUIPMENT AND MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.



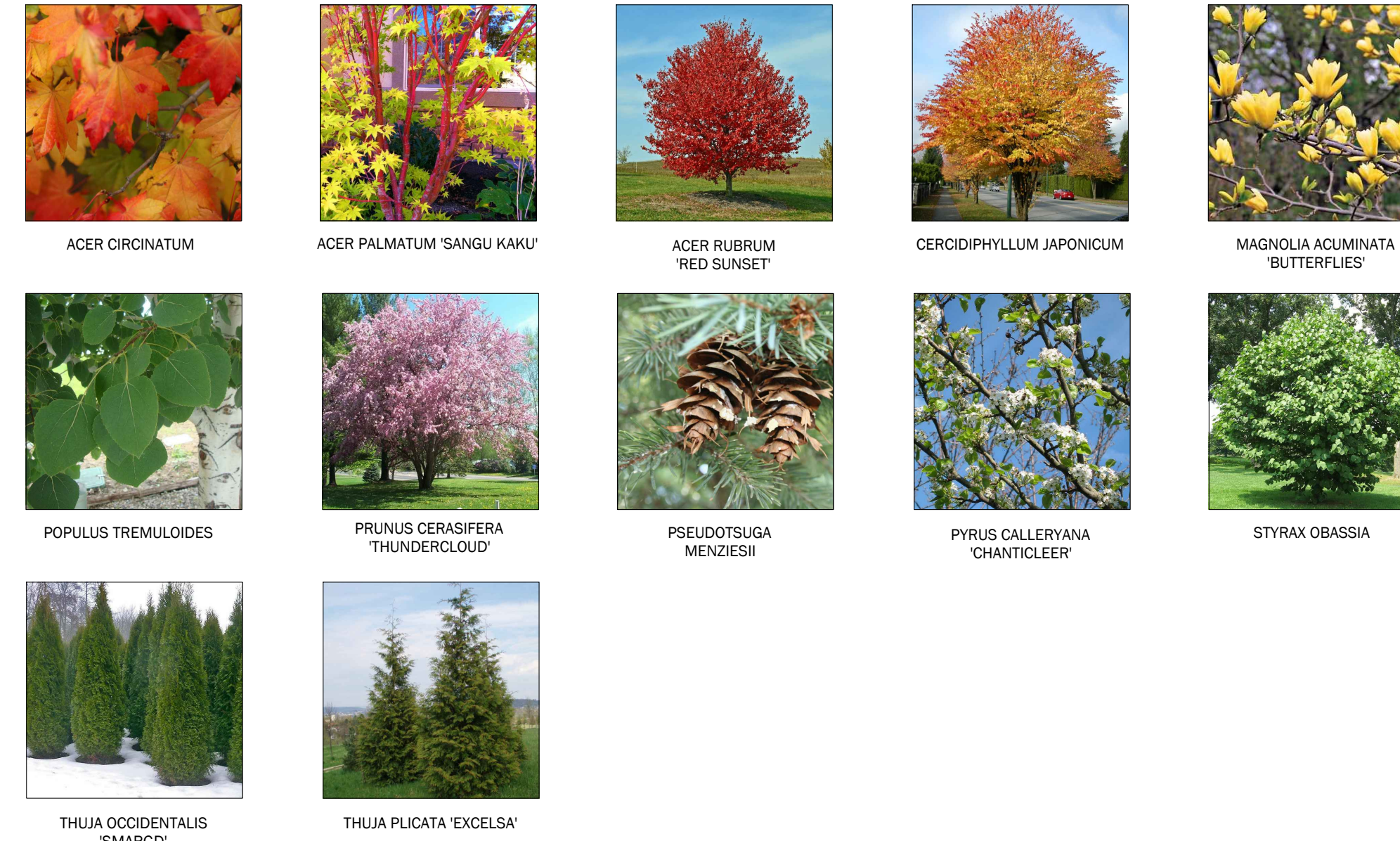
<p>DATE: MARCH 2018</p> <p>DESIGNED: CAROLYN E. MULVINK</p> <p>DRAWN: CAROLYN E. MULVINK</p> <p>APPROVED: LINDSEY B. SOLORIO, P.L.A.</p> <p>PROJECT MANAGER: DAVID E. CAYTON, P.E.</p>	<p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION	DATE				<p>STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT</p> <p>LINDSEY BENNETT SOLORIO CERTIFICATE NO. 1351 04/17/2018</p>	<p>14711 NE 29th Place Suite 101 Bellevue, Washington 98007 425.885.7877 Fax: 425.885.7963</p> <p><b>CORE DESIGN</b> ENGINEERING • PLANNING • SURVEYING</p>
NO.	DESCRIPTION	DATE							
<p><b>LANDSCAPE PLAN</b> <b>CANYON CREEK CHURCH</b> <b>CANYON CREEK CHURCH</b> 14616 35TH AVE SE MILL CREEK, WA 98012</p>		<p>SHEET OF <b>L2.01 5</b> PROJECT NUMBER <b>17046</b></p>							

PLANT SCHEDULE

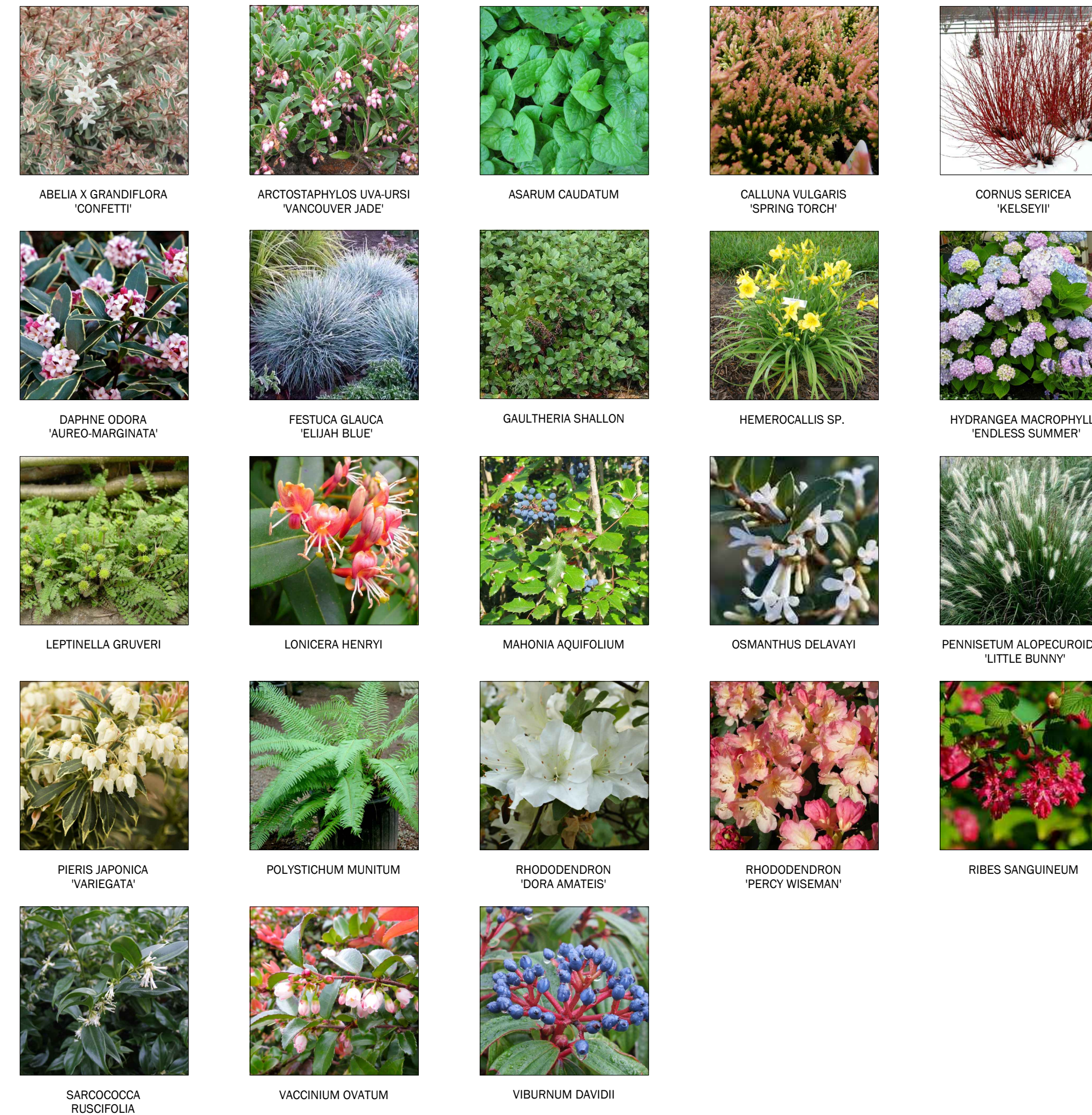
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
	29	ACER CIRCINATUM	VINE MAPLE	8' HT. MIN.	AS SHOWN	MULTI-STEMMED
	10	ACER PALMATUM 'SANGU KAKU'	CORAL BARK MAPLE	1.5' CAL. MIN.	AS SHOWN	FULL/WELL-BRANCHED
	6	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	2" CAL. MIN.	30' O.C.	STREET TREE QUALITY
	6	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	1.5' CAL. MIN.	AS SHOWN	FULL/WELL-BRANCHED
	9	MAGNOLIA ACUMINATA 'BUTTERFLIES'	SAUCER MAGNOLIA	8' HT. MIN.	AS SHOWN	FULL/WELL-BRANCHED
	8	POPULUS TREMULOIDES	QUAKING ASPEN	1.5' CAL. MIN.	AS SHOWN	FULL/WELL-BRANCHED
	14	PRUNUS CERASIFERA 'THUNDERCLOUD'	THUNDERCLOUD PLUM	1.5' CAL. MIN.	AS SHOWN	FULL/WELL-BRANCHED
	12	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	8' HT. MIN.	AS SHOWN	WELL-BRANCHED
	11	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	1.5' CAL. MIN.	AS SHOWN	FULL/WELL-BRANCHED
	1	STYRAX OBASSIA	FRAGRANT SNOWBELL	1.5' CAL. MIN.	AS SHOWN	FULL/WELL-BRANCHED
	5	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	8' HT. MIN.	AS SHOWN	FULL/WELL-BRANCHED
	19	THUJA PLICATA 'EXCELSA'	WESTERN RED CEDAR	8' HT. MIN.	AS SHOWN	FULL/WELL-BRANCHED
VINE/ESPALIER	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
	34	LONICERA HENRYI	HONEYSUCKLE	1 GAL	4' O.C.	
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
	4,115 SF	GENERAL LANDSCAPING				
	98	CALLUNA VULGARIS 'SPRING TORCH'	HEATHER	1 GAL	2' O.C.	
	44	DAPHNE ODORA 'AURO-MARGINATA'	VARIEGATED WINTER DAPHNE	1 GAL	3' O.C.	
	175	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	1 GAL	18" O.C.	
	75	HEMEROCALLIS SP.	DAYLILY	1 GAL	18" O.C.	
	35	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA	1 GAL	4' O.C.	
	84	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	1 GAL	2' O.C.	
	28	PIERIS JAPONICA 'VARIEGATA'	VARIEGATED LILY OF THE VALLEY	1 GAL	4' O.C.	
	62	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL	3' O.C.	
	15	RHODODENDRON 'DORA AMATEIS'	DORA AMATEIS RHODODENDRON	1 GAL	5' O.C.	
	15	RHODODENDRON 'PERCY WISEMAN'	PERCY WISEMAN RHODODENDRON	1 GAL	5' O.C.	
	25	RIBES SANGUINEUM	RED FLOWERING CURRANT	1 GAL	4' O.C.	
	56	SARCOCOCCA RUSCIFOLIA	FRAGRANT SWEETBOX	1 GAL	3' O.C.	
	75	VIBURNUM DAVIDI	DAVID VIBURNUM	1 GAL	3' O.C.	
	14,526 SF	PARKING LANDSCAPING				
	121	ABELIA X GRANDIFLORA 'CONFETTI'	CONFETTI GLOSSY ABELIA	1 GAL	4' O.C.	
	499	ARCTOSTAPHYLOS LIVA-URSI 'VANCOUVER JADE'	KINKINICK	1 GAL	18" O.C.	
	402	CALLUNA VULGARIS 'SPRING TORCH'	HEATHER	1 GAL	2' O.C.	
	303	CORNUS SERICEA 'KELSEYII'	DWARF KELSEY DOGWOOD	1 GAL	3' O.C.	
	499	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	1 GAL	18" O.C.	
	428	LEPTINELLA SQUALIDA	BRASS BUTTONS	1 GAL	18" O.C.	
	267	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL	3' O.C.	
	32	RHODODENDRON 'DORA AMATEIS'	DORA AMATEIS RHODODENDRON	1 GAL	5' O.C.	
	107	SARCOCOCCA RUSCIFOLIA	FRAGRANT SWEETBOX	1 GAL	3' O.C.	
	267	VIBURNUM DAVIDI	DAVID VIBURNUM	1 GAL	3' O.C.	
	13,723 SF	PERIMETER LANDSCAPING				
	397	ASARUM CAUDATUM	WILD GINGER	1 GAL	2' O.C.	
	352	GAULTHERIA SHALLON	SALAL	1 GAL	3' O.C.	
	149	MAHONIA AQUIFOLIUM	OREGON GRAPE	1 GAL	4' O.C.	
	64	OSMANTHUS DELAVAYI	DELAVAY OSMANTHUS	1 GAL	5' O.C.	
	352	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL	3' O.C.	
	248	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	1 GAL	4' O.C.	
	8,253 SF	ROAD BUFFER LANDSCAPING				
	119	CALLUNA VULGARIS 'SPRING TORCH'	HEATHER	1 GAL	2' O.C.	
	116	CORNUS SERICEA 'KELSEYII'	DWARF KELSEY DOGWOOD	1 GAL	3' O.C.	
	254	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	1 GAL	18" O.C.	
	127	HEMEROCALLIS SP.	DAYLILY	1 GAL	18" O.C.	
	60	MAHONIA AQUIFOLIUM	OREGON GRAPE	1 GAL	4' O.C.	
	106	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL	3' O.C.	
	61	RHODODENDRON 'PERCY WISEMAN'	PERCY WISEMAN RHODODENDRON	1 GAL	5' O.C.	
	54	RIBES SANGUINEUM	RED FLOWERING CURRANT	1 GAL	4' O.C.	
	74	SARCOCOCCA RUSCIFOLIA	FRAGRANT SWEETBOX	1 GAL	3' O.C.	
	66	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	1 GAL	4' O.C.	

PLANT IMAGES

TREES



SHRUBS, PERENNIALS, GROUND COVERS



NO.	REVISIONS	DATE



LINDSEY BENNETT SOLORIO  
CERTIFICATE NO. 1351  
04/17/2018

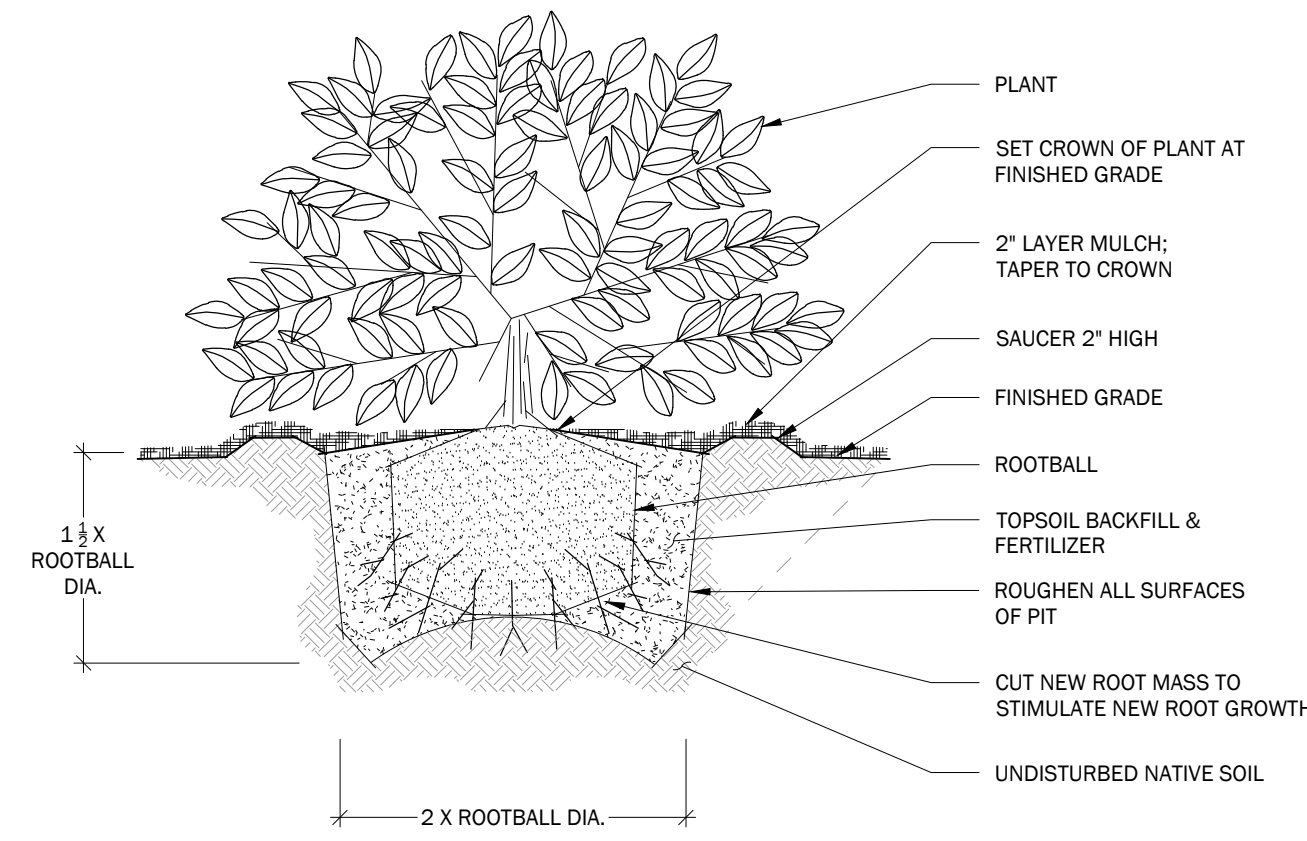
14711 NE 29th Place Suite 101  
Bellevue, Washington 98007  
425.885.7877 Fax 425.885.7963



PLANT SCHEDULE  
CANYON CREEK CHURCH  
CANYON CREEK CHURCH  
14616 35TH AVE SE  
MILL CREEK, WA 98012

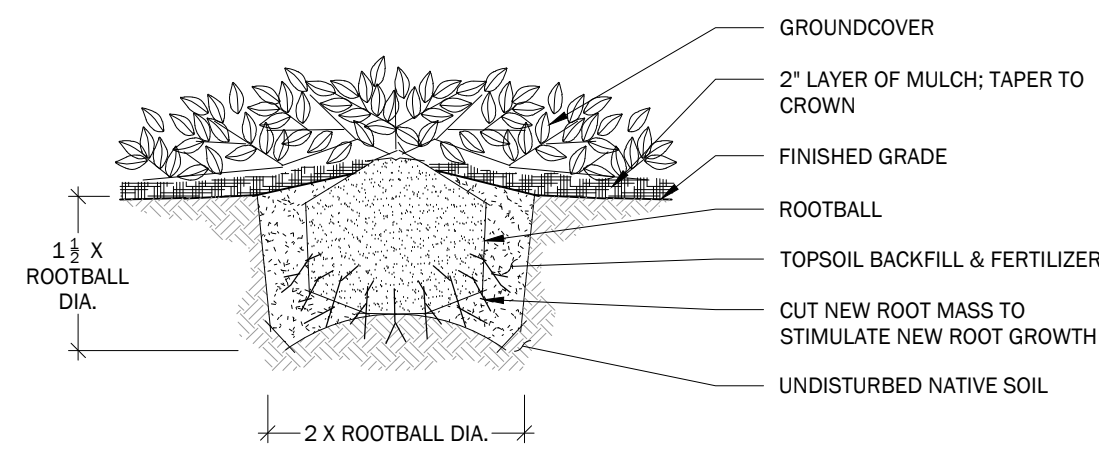
DATE	MARCH 2018
DESIGNED	CAROLYN E. MULNIK
DRAWN	CAROLYN E. MULNIK
APPROVED	LINDSEY B. SOLORIO, P.L.A.
	DAVID E. CAYTON, P.E.
	PROJECT MANAGER

SHEET	OF
<b>L2.02</b>	<b>5</b>
PROJECT NUMBER	
<b>17046</b>	



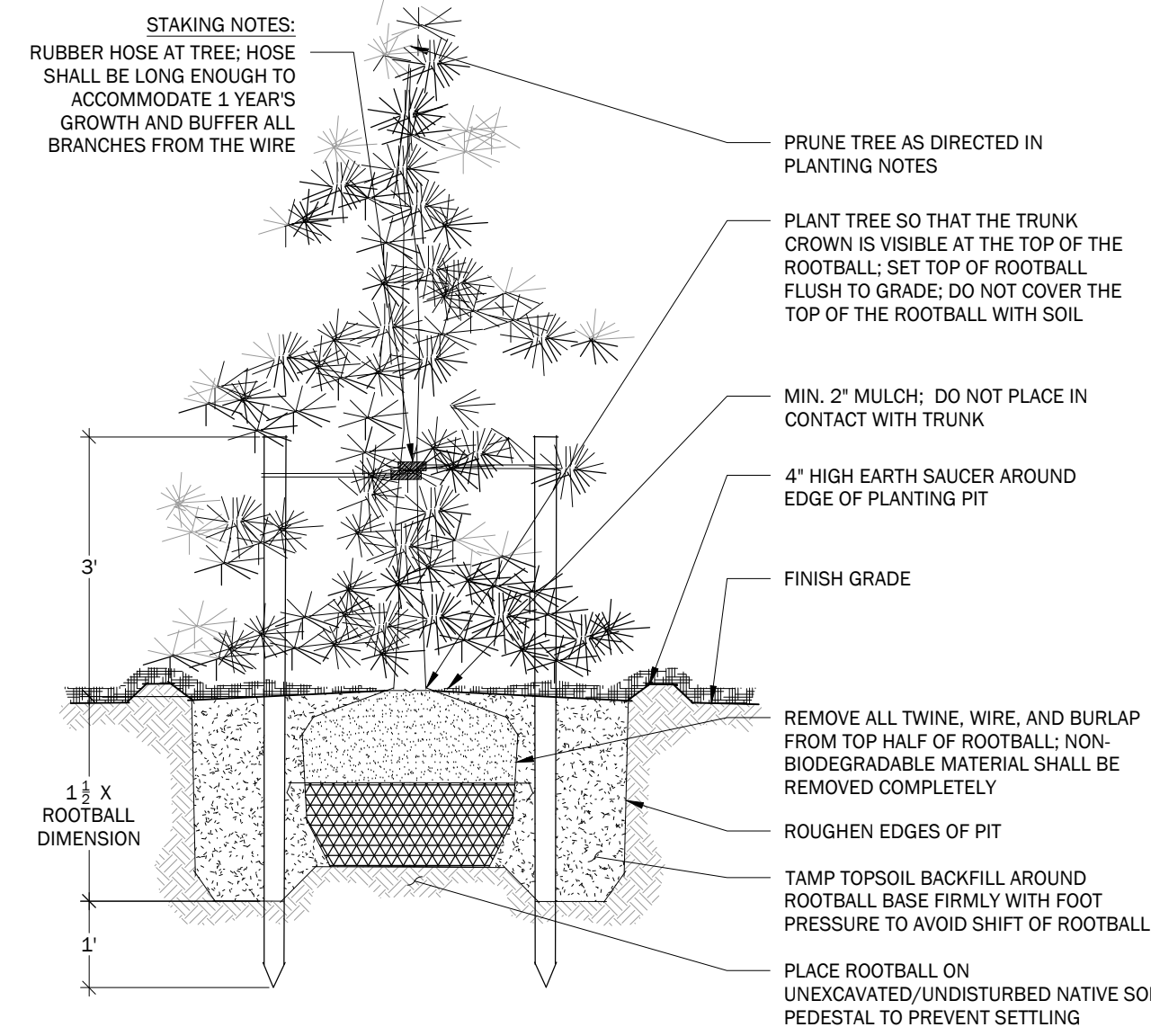
DETAIL: PLANTING SHRUB

NOT TO SCALE



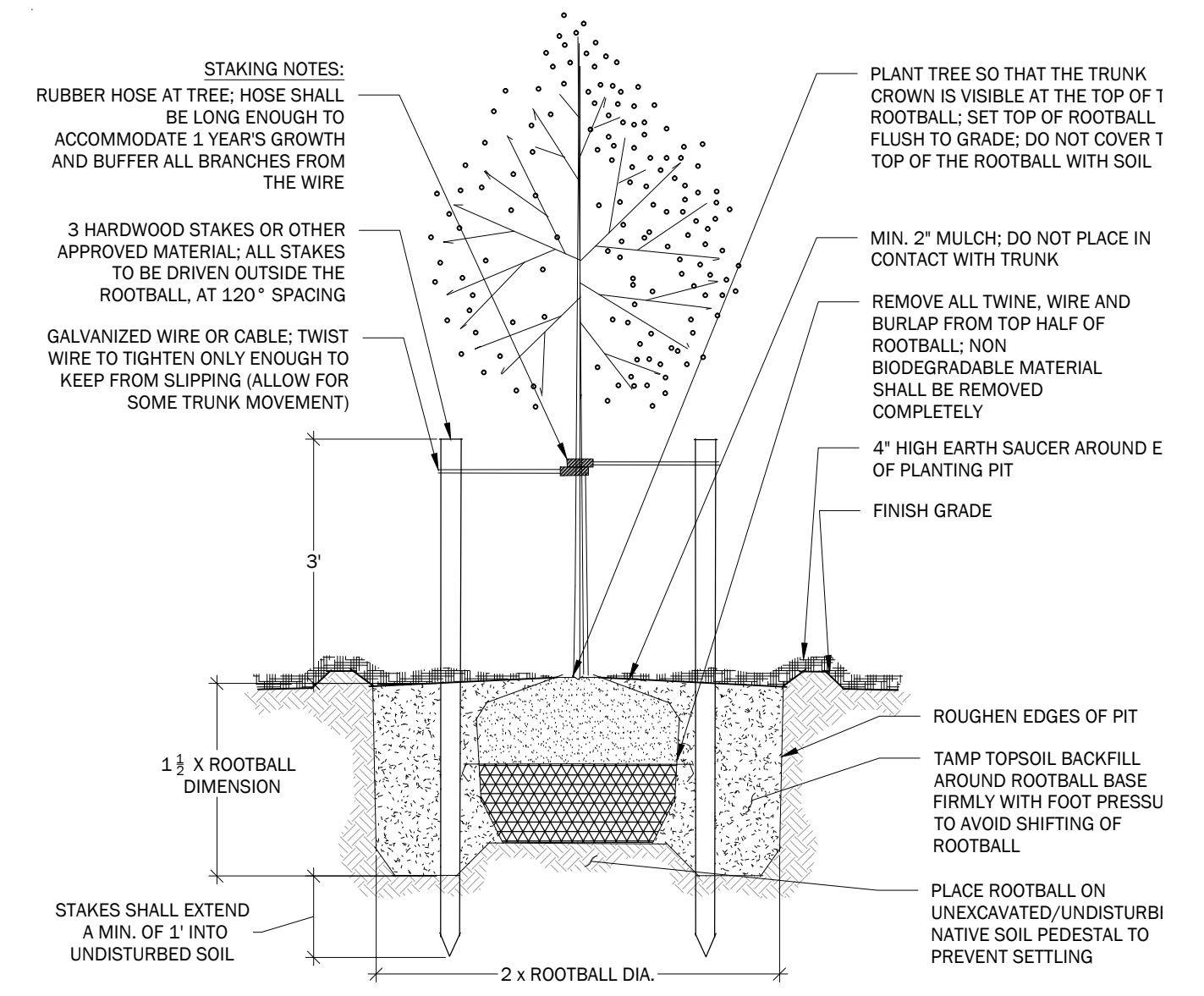
DETAIL: PLANTING GROUNDCOVER

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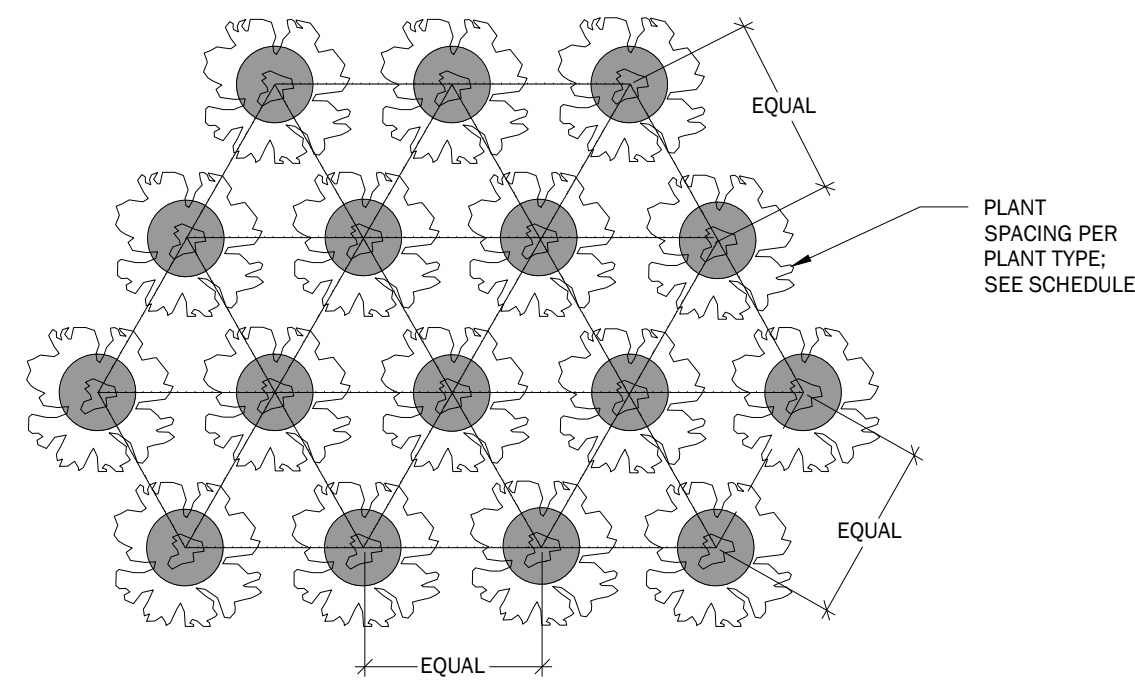
DETAIL: PLANTING CONIFER TREE

NOT TO SCALE



DETAIL: PLANTING DECIDUOUS TREE

NOT TO SCALE

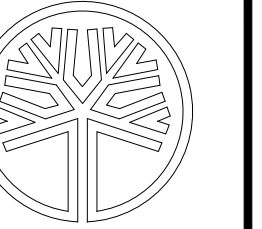


NOTE:  
TO AVOID LANDSCAPE INTRUSION INTO PATHS,  
THE FOLLOWING PLANTING SPACING OFF-SETS  
FROM EDGE OF ALL PATHS, DRIVES, ACCESS  
ROUTES, ETC. SHALL BE MET:  
  
GROUND COVER: 18"  
SMALL SHRUBS (UNDER 3' TALL): 30"  
MEDIUM SHRUBS (FROM 3' TALL TO 6'): 42"  
LARGE SHRUBS (OVER 6' TALL): 48"

DETAIL: PLANTING GROUNDCOVER SPACING

NOT TO SCALE

NO.	REVISIONS	DATE



STATE OF WASHINGTON  
REGISTERED  
LANDSCAPE ARCHITECT

LINDSEY BENNETT SOLORIO  
CERTIFICATE NO. 1351  
04/17/2018

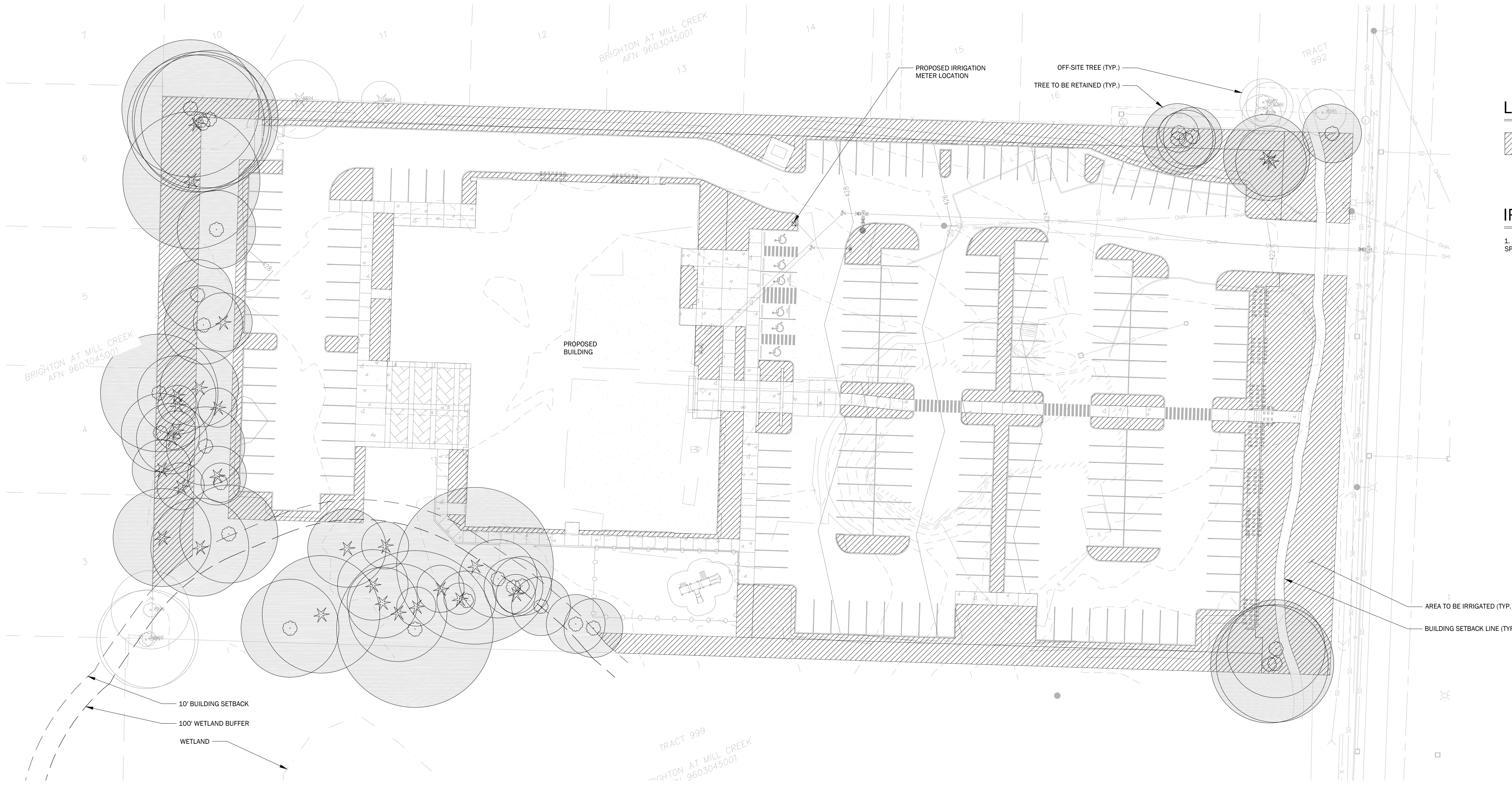
14711 NE 29th Place Suite 101  
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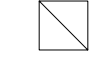
LANDSCAPE DETAILS  
CANYON CREEK CHURCH  
CANYON CREEK CHURCH  
14616 35TH AVE SE  
MILL CREEK, WA 98012

DATE	MARCH 2018
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	PROJECT MANAGER



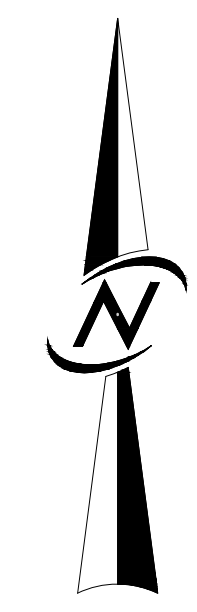


**LEGEND**

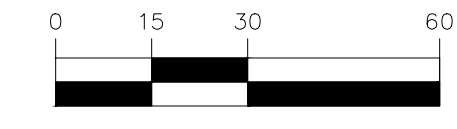
-  AREA TO BE IRRIGATED
-  IRRIGATION METER

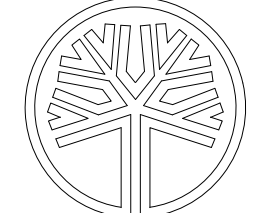

**IRRIGATION NOTES**

1. ALL LANDSCAPED AREAS TO BE IRRIGATED BY MECHANICAL SPRINKLER SYSTEM PER MCMC 17.34.040.



SCALE: 1" = 30'



NO. _____ REVISIONS _____ DATE _____	 STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT LINDSEY BENNETT SOLORIO CERTIFICATE NO. 1351 04/17/2018
 ENGINEERING • PLANNING • SURVEYING	
<b>IRRIGATION PLAN</b> <b>CANYON CREEK CHURCH</b> <b>CANYON CREEK CHURCH</b> 14616 35TH AVE SE MILL CREEK, WA 98012	
DATE: MARCH 2018 DESIGNED: CAROLYN E. MULNIK DRAWN: CAROLYN E. MULNIK APPROVED: LINDSEY B. SOLORIO, P.L.A. DAVID E. CAYTON, P.E. PROJECT MANAGER	SHEET OF <b>L3.01</b> <b>5</b> PROJECT NUMBER <b>17046</b>